

**SOUTH OGDEN CITY
PLANNING COMMISSION BRIEFING MEETING MINUTES**

**January 14, 2016
Council Chambers, City Hall
5:30 P.M.**

PLANNING COMMISSION MEMBERS PRESENT

Chair Todd Heslop, Commissioners Mike Layton, Steve Pruess, Chris Hansen, Raymond Rounds, Susan Stewart, and John Bradley

STAFF PRESENT

City Planner Mark Vlasic and City Recorder Leesa Kapetanov

The briefing meeting began at 5:36 pm. Chair Todd Heslop indicated they would discuss items according to their order on the agenda.

City Planner Mark Vlasic began the discussion by talking about the Form Based Code. Staff had been made aware of a flier that had been distributed through the neighborhoods criticizing the Form Based Code and its effects on the neighborhood. Mr. Vlasic addressed some of the concerns and let the Commissioners know that they could modify the proposed code if they felt they should. He also said he would preface the public hearing on the code with a short presentation on what the Form Based Code was. City Recorder Leesa Kapetanov also explained there would be another public hearing next month on changing the zoning in conjunction with the Form Based Code.

Chair Heslop then took the opportunity to introduce new Planning Commissioner Susan Stewart.

Mr. Vlasic next talked about the Water Efficient Landscape Plan. He said there had been some minor changes since it was last presented, mostly grammatical corrections suggested by the city attorney.

Planner Vlasic then discussed the removal of the City Council from the subdivision approval process. He pointed out the Council had requested this change be made. The codifier had caught some other errors that also needed to be corrected and those changes were being made as well.

Mr. Vlasic spoke next about the conditional use application. It was for two businesses located in a zone where home occupations were conditional uses. The businesses met the necessary requirements and he was recommending approval.

City Recorder Leesa Kapetanov then addressed the proposed changes to the Planning Commission Policies and Procedures. She reminded the Commissioners of the conflict between the Code and their Policies and Procedures concerning voting procedures and the steps taken to correct them. The changes tonight would bring everything into alignment.

Ms. Kapetanov then made the Commissioners aware that the City would host a Land Use Training event in February and March. She asked which night of the week would be best for them; the Commissioners chose Thursday.

City Manager Dixon, who had just joined the meeting, reported to the Commission on the 40th Street Project. He said the design for the street would be begun in May or June, using the discussion on aesthetics by the City Council and Planning Commission as guidelines.

Mr. Vlasic then discussed the public hearing on the Form Based Code and addressed some of the concerns. He reminded the Commissioners if they had concerns, the Form Based Code could be adjusted. They could eliminate some of the uses or decrease the depth of

the zone along 40th Street, where most of the concern seemed to be. There was discussion on whether decreasing the depth would allow the quality of re-development wanted in the area.
There was no more discussion. The briefing meeting was concluded.

I hereby certify that the foregoing is a true, accurate and complete record of the South Ogden City Planning Commission Briefing Meeting held Thursday, January 14, 2016.


Leesa Kapetanov, City Recorder

February 11, 2016
Date Approved by the Planning Commission

**MINUTES OF THE
SOUTH OGDEN CITY PLANNING COMMISSION MEETING**

**Council Chambers, City Hall
Thursday, January 14, 2016 – 6:15 p.m.**

PLANNING COMMISSION MEMBERS PRESENT

Chair Todd Heslop, Commissioners Mike Layton, Steve Pruess, Chris Hansen, Raymond Rounds, Susan Stewart and John Bradley

STAFF PRESENT

City Manager Matt Dixon, City Planner Mark Vlasic and City Recorder Leesa Kapetanov

OTHERS PRESENT

Jerry Cottrell, Megan Austin, Marc Gardner, James Shupe, Jeri Whitehead, Rick Whitehead, Kirk Johnson, Scott Snowden, Walt Bausman, Travis Von Elling, Chris & Litsa Bournakis, Tim Von Bon, Renee Johns, Wes Stewart, Rosa Lopez, Virginia Lopez, Josh Setzer, Josh Payne, Amber Payne, Debbie McCormick, Cherilynn Uden, Ilene Greene, Dennis Greene, Donna Chadburn, Alejandro Lopez, Kim Aldrich, and others

I. CALL TO ORDER AND OVERVIEW OF MEETING PROCEDURES

Chair Todd Heslop called the meeting to order at 6:15 pm and called for a motion to open.

Commissioner Bradley moved to open the Planning Commission Meeting, followed by a second from Commissioner Rounds. Commissioners Hansen, Layton, Bradley, Stewart, Rounds and Pruess all voted aye.

The Chair reviewed the items on the agenda. He explained the public hearing would be an opportunity for those who wished to come forward and speak. There were three items to speak to that evening; they would be addressed in order, one at a time. He explained the Planning Commission was aware of a flier that was somewhat negative toward the Form Based Code; the Commission hoped to address some of the issues mentioned in the flier. He also explained the Commission had been discussing the Form Based Code for over a year and they welcomed comments. Chair Heslop then called for a motion to close the public meeting and open a public hearing.

Commissioner Pruess moved to close the public meeting and open a public hearing. Commissioner Bradley seconded the motion. The voice vote was unanimous to open the public hearing.

II. PUBLIC HEARING

To Receive and Consider Comments on the following items:

A. Adopting the Form Based Code and Amending the Zoning Map

Chair Heslop invited staff to explain a little about the Form Based Code. City Planner Mark Vlasic gave a presentation (see Attachment A), explaining how form based zoning differed from the current zoning and what its strengths were.

The Chair then invited those who wished to speak to the Form Based Code to come forward, stating their name and address for the record.

Scott Snowden, 3625 Orchard Ave. – Mr. Snowden said he had more questions than comments, however he wondered what Mr. Vlastic had meant when he said people would have the opportunity to redevelop. He also asked about how the properties for 40th Street would be acquired; eminent domain? Voluntary sale?

City Recorder Leesa Kapetanov reminded those present that the public hearing was not about the widening of 40th Street but the adoption of the Form Based Code. Mr. Snowden said he thought they were connected. Staff advised him they were not; they were two separate issues. Ms. Kapetanov said residents along 40th Street would receive notice and a public hearing held about the widening, but that was not the topic for that evening.

Planner Mark Vlastic asked the Chair what the procedure for the meeting would be: should staff answer questions as they were asked, or allow everyone to speak and get their questions on record.

Chair Heslop said everyone should comment and staff would try to address them afterward.

Mr. Snowden asked if redevelopment grants would be available for those wanting to do redevelopment, as most homeowners in the area would not have the money to tear down their houses and rebuild them as per the Form Based Code. He also asked what would stop the commercial area from creeping further into the residential areas. If the development along 40th Street did not happen as quickly as the City wanted, would they take properties by eminent domain?

City Planner Vlastic commented development was a private market decision. If somebody saw the opportunity to purchase six lots at market value and redevelop them, they could do so. Although there were not funds currently available for redevelopment, future RDA Project Areas could be established. He also pointed out that although the Form Based Code showed an area a half block deep along 40th Street, it was not focused on all commercial, but residential as well. He added that no one would be forced from their homes. There was no eminent domain. He also reminded everyone that they were speaking only of the Form Based Code, and not the widening of 40th Street.

Kirk Johnson, 4021 Liberty – Mr. Johnson stated he owned two properties within the “blue zone” of the Form Based Code. He thanked whoever put together the flier to get everyone there. He wished that the City would have sent out a flier to everyone in the area. Mr. Johnson said the more he learned about the Form Based Code, the more he was excited about it. He thought having control over what the look of redevelopment was going to be was a great idea. He pointed out to those present that redevelopment was not a requirement. If they did not want to sell their property, they didn’t have to. He also commented the Form Based Code was about aesthetics, and some of the uses in question were already permitted in most of the area. Tattoos could be offered at the barber shop and beer was already sold at the convenience store on the corner. Anything zoned commercial in the area already allowed them. He said having the Form Based Code would be a good thing for the City. He hoped others would support it.

Wes Stewart, 3625 Jefferson – stated he had a degree in civil engineering, specializing in transportation engineering. He said he had not seen any streets improved in the south end of the City. He also said he hadn’t found anything online about the Form Based Code. He presented the Planning Commissioners with a handout (see

Attachment A) with a list of his concerns. His first concern was that residents had not been properly notified. He asked if a notice had been sent out. Chair Heslop reminded Mr. Stewart this was his opportunity for public comment, and staff would try to answer questions after the public hearing.

Mr. Stewart said a 2008 survey had said residents on the south end of the City wanted development, not the north end, yet it was happening here. He began talking about 40th Street and how congested it was and that it needed to be designed correctly. City Recorder Kapetanov reminded him this public hearing was not about 40th Street. Mr. Stewart began again to talk about the widening of 40th Street. Commissioner Bradley said the item listed on the agenda was the Form Based Code and whether it should be adopted or not. Mr. Stewart said the widening of 40th Street needed to be done in a wise manner and continued to talk about it.

He then referred to Section 10.1 of the Form Based Code which said the purpose was to “ensure that a variety of housing types and sizes could be developed to meet the needs of the entire community”. He said the Form Based Code seemed to have a cookie-cutter look to it. He then referred to non-conformance, maintenance, and the expansion of a non-conforming building, noting that if anyone wanted to expand their home more than 25%, they would have to bring it into conformance. Mr. Stewart then read through some of the uses being proposed and questioned whether they should be. He thought the City ought to not spend money on redevelopment but on adding sidewalks to some of the existing streets. He said that bars do not belong in residential neighborhoods and then pointed out that if 40th Street was not widened correctly, they would have to tear out the new businesses and widen it again. He thought widening it 20 feet would be better than just 10 feet.

Mr. Stewart then pointed to a document that showed that a wider commercial area had been considered along 40th Street and warned that there was no guarantee to the end of urban sprawl. He said residents were regularly being run out of the City because they were not conforming to South Ogden City code. He pointed to some pictures from the Form Based Code and said they were not a fair representation and advertised the Form Based Code incorrectly.

Mr. Stewart thought it would be appropriate for the Commission to delay their decision until residents had more time to learn and understand about the Form Based Code. He added that he felt the meeting that evening had not been noticed correctly.

Josh Payne, 3796 Porter – said he liked the concept, but if he had wanted to live in an area like that being proposed, he would have moved to Salt Lake. He had moved into his grandfather’s house in South Ogden because he liked the old style neighborhood. He was concerned with the uses of smoke shops and tattoo parlors being allowed in the area.

Litza Bournakis, owner of property at 356 39th Street – asked if the City had any developers interested in doing anything right now. She then pointed out that before Macey’s was built, real estate agents were offering the people prices way below the market value and the people were eventually forced out of their homes. She wondered if there was anything in place to ensure that nothing like that would happen again when developers come in. Ms. Bournakis’ next concern was parking if the area was developed.

Marc Gardner, 555 40th – he asked what would happen if someone bought the property next to him and turned it into commercial. Would they be allowed to stay open late? How would he be impacted by parking?

Megan Austin, 3712 Ogden Ave. – said she lived a block away from Washington Boulevard and it seemed this zoning change was bringing Washington Boulevard to her street. She was concerned with the traffic it would bring. She was also concerned a developer would come in and want to buy the properties around her and what would happen if she did not want to sell.

Travis Von Elling, 11 Yale Drive – asked what the timeline was for this project. He liked that the City was trying to improve its look, and hoped that it might encourage homeowners to improve their homes. He asked if the City had considered limiting the types of businesses coming into the area as they might attract a demographic of people not suitable for a residential area.

Commissioner Rounds clarified that the Form Based Code was a tool for the City to use as development came into the City. The City itself was not doing anything in terms of buying property, building buildings, or creating anything. When a developer came to the City, purchased property and chose to develop it, the Form Based Code was the City's tool to make sure the development tool place properly and in a way the City wanted it to be done.

Megan Austin, 3712 Ogden Ave. – commented that nobody knew about the meeting. And according to the next item on the agenda, they were trying to remove the City Council from the approval process. She felt the Council should not be removed, as residents knew who their City Council members were because they had elected them.

Commissioner Rounds stated the Planning Commission had been working on the Form Based Code for well over a year and this public hearing was the opportunity for people to comment.

Wes Stewart, 3625 Jefferson – said the zoning change would be a huge impact on the people in South Ogden. He said it would also impact the School District and wondered if they had been notified. Children would be walking up 40th Street to get to school and he was concerned.

Scott Snowden, 3625 Orchard Ave. – added that they lived in South Ogden by choice, and had chosen the home they lived in so they could avoid debt. If they wanted a larger house, they would go further south in South Ogden. Many of the people in his area (north of 40th Street) felt they were viewed as the less desirable part of town. He was glad with the widening of 40th Street, but was concerned with the commercial creep that always seemed to happen and the temptation of the City to reap the revenue of businesses rather than residential areas. He was concerned that the same thing might happen along 36th Street. Even if people did not want to sell, they would eventually be squeezed out.

Walt Bausman, 5792 S 1075 E – said he lived in the south part of the City, but wanted to make some comments about the Form Based Code. He commented about private vs. public streets, locating the civic center in the center of the city, not on the outskirts, and facilitating the integration of new development and redevelopment in existing neighborhoods. The Form Based Code would allow more commercial areas next to the existing homes and would slow the traffic on 40th Street because the intent was to add more shops. He thought the shops should be more appropriate for the existing neighborhoods. The Form Based Code also stated it wanted to draw more people to some of the areas, but it would directly affect the residential properties nearby.

Wes Stewart, 3625 Jefferson – commented that Commissioner Rounds had said the developers had a say in this matter, but Mr. Stewart said that was incorrect. The Commissioners had the say right now in the vote. It would affect people’s lives. He asked that the bad uses be taken out. If it was a matter of all or none, he encouraged them to vote none.

There were no more comments from the public concerning the Form Based Code.

B. Amending Title 10, Chapter 23, Replacing it With the Proposed Water Efficient Landscape Ordinance

Chair Heslop opened the floor to comments concerning the proposed Water Efficient Landscape Ordinance, asking staff to first give a brief overview of the ordinance. Mr. Vlastic informed those present that the City had been looking at this ordinance for a few years, but felt it should be implemented now as the Form Based Code would refer to it. The ordinance would create a better use of water resources through landscaping and irrigation. He said it would not only affect the areas being considered for the Form Based Code but the entire City.

Wes Stewart, 3625 Jefferson – commented that as a citizen and business owner he would prefer to have a choice and not be forced to implement water wise landscaping. He suggested giving tax incentives to those who go with water-wise landscaping.

There were no more comments concerning the Water Efficient Landscape Ordinance.

C. Amending Title 11 of the City Code, Removing The City Council From The Subdivision Approval Process And Making Various Other “Housekeeping” Corrections

The chair opened the floor to comments concerning the proposed subdivision ordinance. He again asked staff to give an overview of the issue. Planner Vlastic said the Subdivision Ordinance had been adopted within the last few months so that it would function better. The City Council had looked at the approval process and determined that they did not need to be involved. Some other “housekeeping” changes as suggested by the codifier were also being made. City Manager Dixon added that the Council’s decision to remove itself from the approval process was part of an ongoing discussion amongst themselves on legislative versus administrative functions. He explained the difference between legislative and administrative functions and why it made sense to not have the Council involved in administrative processes. He concluded by saying the Planning Commission would forward their recommendation on to the City Council, but the City Council would have the final decision on the matter.

Kirk Johnson, 4021 Liberty – Mr. Johnson clarified that the Commission was only voting that evening on a recommendation to the City Council. Staff confirmed that was correct.

Scott Snowden, 3625 Orchard Ave. – commented the reason the public may be against it is because they couldn’t “hold feet to the fire” of the people they elected. The bureaucrats could turn a deaf ear to the public.

Litza Bournakis, owner of property at 356 39th Street – thought the City Council should be involved in whatever the Planning Commission was deciding. The Council was the people they had voted for.

Wes Stewart, 3625 Jefferson – seconded what Ms. Bournakis had said.

There were no other public comments. Chair Heslop called for a motion to close the public hearing.

Commissioner Rounds moved to close the public hearing and return to the public meeting, followed by a second from Commissioner Pruess. The voice vote was unanimous in favor of the motion.

III. **ZONING ACTIONS – Legislative**

A. **Discussion and Recommendation on Adoption of the Form Based Code and Amending the Zoning Map**

Chair Todd Heslop turned the time to City Manager Dixon to answer questions raised during the public hearing. Mr. Dixon answered questions concerning opportunity, eminent domain, etc. He pointed out that there was no timeline for development in the area covered by the Form Based Code; it could be years before a developer approached the City, but when they did, the City would be prepared with a vision and ordinance of what they wanted.

Mr. Dixon then gave an update on the widening of 40th Street, stating that it was in the design process with construction slated to begin in spring 2017.

City Planner Vlastic pointed out that the 2008 General Plan update designated this area as commercial and at the time of adoption it had been supported by the general public.

Mr. Dixon then said the City follows all noticing requirements required by the State, but he also recognized residents' desire for more notice of meetings.

Commissioner Pruess asked what criteria IBI had used in determining the depth of the zones along 40th Street. Mr. Vlastic said he did not know for certain, but assumed that for successful redevelopment to occur, it needed to encompass more than just one or two lots along 40th. They probably also took into consideration how access to development along 40th would best be handled, trying to move it from being directly on 40th Street to the side streets; it was a standard transportation model for busy streets.

Commissioner Bradley asked staff to address what types of limits they could put on the uses being considered for the zones. Mr. Vlastic said the uses were a valid concern which had certainly been voiced that evening. Also valid was the idea that development should be focused on the corners or "nodes". Maybe the question should be asked if the full range of uses should be allowed between the corners or nodes, or if they should be scaled back.

Commissioner Rounds asked if they could continue the public hearing. That way they could consider the comments and have staff look at the uses. Mr. Dixon said that would be fine, although as mentioned earlier, there would be a public hearing next month on the actual rezoning of the properties as per the Form Based Code. He also said staff was available every day for those members of the community who had additional questions. Ms. Kapetanov added that the notice requirements for a rezone were such that a letter would be sent to each property owner within the proposed zones informing them of the next public hearing.

Commissioner Rounds moved to continue the public hearing concerning adoption of the Form Based Code until next month's regularly scheduled meeting. City Recorder Leesa Kapetanov asked if Commissioner Rounds would like to add to his motion direction to

staff to look into the uses of the area. City Manager Dixon added it would make clear for the record that the majority of the Commission was in favor of directing staff to look into the uses. **Commissioner Rounds added to his motion that staff should look into the uses of the Form Based Code in certain areas to see if some should/could be excluded or if they should remain. Commissioner Pruess seconded the motion. Chair Heslop asked if there were further discussion, and seeing none, he called the vote:**

Commissioner Bradley-	Yes
Commissioner Layton-	Yes
Commissioner Pruess-	Yes
Commissioner Hansen-	Yes
Commissioner Stewart-	Yes
Commissioner Rounds-	Yes

The motion stood.

B. Discussion and Recommendation on Amending Title 10, Chapter 23, Replacing it With the Proposed Water Efficient Landscape Ordinance

Commissioner Rounds said he understood the public comment about allowing a commercial organization to have a choice in their landscaping; however, there was a common good when it came to water usage. It had been his experience that commercial organizations would prefer not to have to put any landscaping in at all if they didn't have to. He felt it should be the Commission's recommendation that the Water Efficient Landscape Ordinance be adopted.

Commissioner Bradley moved to recommend approval of Title 10, Chapter 23, replacing it with the proposed Water Efficient Landscape Ordinance. The motion was seconded by Commissioner Rounds. The Chair asked if there was further discussion. There was no comment, so the Chair called the vote:

Commissioner Bradley-	Yes
Commissioner Layton-	Yes
Commissioner Pruess-	Yes
Commissioner Hansen-	Yes
Commissioner Stewart-	Yes
Commissioner Rounds-	Yes

The recommendation for approval was passed.

C. Discussion and Recommendation on Amending Title 11 of the City Code, Removing The City Council From The Subdivision Approval Process And Making Various Other "Housekeeping" Corrections

Commissioner Rounds said he had difficulty with this item. He felt they could only vote yes on it since the Council themselves had decided to remove them from the process. Since the Council consisted of the elected officials, the Commission's only response could be "yes". Commissioner Bradley pointed out the City Council's involvement took place in crafting the ordinance, so if a developer came and wanted to put in a subdivision, and it met the requirements of the ordinance, neither the City Council nor the Planning Commission would have any choice but to approve it.

City Manager Dixon explained the difficulty that might occur if the public had the perception that the Council could somehow deny a subdivision approval if there was something the public did not like about it. The reality was that if a developer met all the requirements of the subdivision ordinance, the City was bound to approve it. However, Mr. Dixon added that the City Council could still remain in the approval process if they chose to.

Commissioner Rounds asked why they were voting on it, why the Council didn't just designate the Planning Commission as the group who would approve subdivisions. Mr. Dixon explained that because this was a land use ordinance amendment, the Planning Commission was the designated body to review it and make recommendations to the Council. City Recorder Kapetanov added that amending a land use ordinance required a public hearing, and the statute required the public hearing to take place before the Planning Commission.

Mr. Dixon stated the Planning Commission could make whatever recommendation they wanted to the City Council, and the City Council could do whatever they wanted with that recommendation.

Commissioner Bradley commented that having been on the Council, he had seen times when the public had come with the expectation that the Council could overturn some decision even when an applicant had met all the requirements of the zoning ordinance; however, the reality was that they couldn't deny it. He felt this ordinance was a mere reflection of reality.

Commissioner Layton moved to amend Title 11 of the city code, removing the Council from the subdivision approval process, allowing the Planning Commission to apply the law. Commissioner Pruess seconded the motion. The Chair asked if there were further discussion. Planner Vlasic pointed out the motion had been to approve the amendment, but in reality it was to recommend approval of the amendment to the City Council. Commissioner Layton acknowledged that was the case. **Chair Heslop called the vote:**

Commissioner Bradley-	Yes
Commissioner Layton-	Yes
Commissioner Pruess-	Yes
Commissioner Hansen-	Yes
Commissioner Stewart-	Yes
Commissioner Rounds-	No

The recommendation that Title 11 be amended was passed.

IV. CONDITIONAL USE ACTIONS – Administrative

A. Consideration of Business License Applications for a Holding Company and Forensic Accounting Business Located at 6045 S Ridgeline Dr., Apt. B108 (Falls Apartments)

Planner Mark Vlasic reviewed the application with the Commission, stating it met the requirements of conducting that type business in the zone. Staff recommended approval.

Commissioner Pruess moved to approve the business license application for a holding company and forensic accounting business located at 6045 S Ridgeline Dr. The motion was seconded by Commissioner Rounds. The Chair called for further discussion. There was no further discussion. The vote was called:

Commissioner Bradley-	Yes
Commissioner Layton-	Yes
Commissioner Pruess-	Yes
Commissioner Hansen-	Yes
Commissioner Stewart-	Yes
Commissioner Rounds-	Yes

The conditional use was approved.

V. **SPECIAL ITEMS**

A. **Amending the Planning Commission Rules and Procedures**

Recorder Leesa Kapetanov reminded the Commission this amendment would bring the City Code and the Rules of Procedures into line with each other. Commissioner Stewart pointed out that a section was being removed concerning public hearings. City Recorder Kapetanov cited some instances when the requirement in the Rules and Procedures contradicted what was in the City's ordinance and the state ordinance when it came to notifications. She added that requirements for public hearings should be found in the ordinance, not in the Rules and Procedures.

Commissioner Stewart said she was concerned with the perception that removing it would not require the City to give notice. Ms. Kapetanov said having it there could cause confusion as to what the actual notification requirement was.

City Manager Dixon suggested a clause be added that stated the Planning Commission would follow all State and City notification requirements.

Commissioner Stewart moved to include a statement that the City would follow notifications as per State Code. Recorder Kapetanov suggested City Code be added as well. **Commissioner Stewart added City Code to the motion. She then added that all other amendments would be accepted as proposed. The motion was seconded by Commissioner Rounds. There was no further discussion. The Chair called the vote:**

Commissioner Bradley-	Yes
Commissioner Layton-	Yes
Commissioner Pruess-	Yes
Commissioner Hansen-	Yes
Commissioner Stewart-	Yes
Commissioner Rounds-	Yes

The motion passed.

V. **OTHER BUSINESS**

Chair Heslop apologized for not welcoming the newest member of the Planning Commission, Susan Stewart, at the beginning of the meeting. He welcomed Ms. Stewart and said they were glad she was there.

Mr. Heslop then stated the public had had opportunity to state their feelings at the public hearing and he felt the commissioners had listened to their questions and concerns. There was no other business.

VI. APPROVAL OF MINUTES OF PREVIOUS MEETINGS

A. Approval of December 10, 2015 Briefing Meeting Minutes

Chair Heslop called for a motion concerning the minutes.

Commissioner Pruess moved to approve the December 10 briefing meeting minutes. Commissioner Layton seconded the motion. All present voted aye except for Commissioners Stewart and Rounds, who abstained as they had not been present at the meeting.

B. Approval of December 10, 2015 Meeting Minutes

The chair called for a motion concerning the meeting minutes.

Commissioner Layton moved to approve the December 10 meeting minutes, followed by a second from Commissioner Hansen. All present voted aye except for Commissioners Stewart and Rounds who abstained as they had not been present at the meeting.

VII. PUBLIC COMMENTS

Jerry Cottrell, 5765 S 1075 E – thanked the Planning Commission for the time they took in listening to the concerns that evening.

He then reminded the Commissioners that the concerns about the uses in the area of the Form Based Code that they had previously limited the number of payday loan establishments in the City. They should have a vision of what they wanted the City to be and exclude those businesses that did not contribute to that vision, whether it was a tattoo parlor, payday loan business, or sexually oriented businesses.

Scott Snowden, 3625 Orchard Ave. – thanked the Commission for their willingness to suspend some of the formal Robert’s Rules of Order for a more informal discussion.

He then asked if there was even any more room left in the City for subdivisions and if there had been a need to even amend the ordinance.

City Planner Vlasic said dividing a single lot into two lots was considered a subdivision and had to follow the rules.

VIII. ADJOURN

Chair Heslop called for a motion to adjourn.

Commissioner Rounds moved to adjourn, followed by a second from Commissioner Bradley. All present voted aye.

The meeting ended at 9:02 pm.

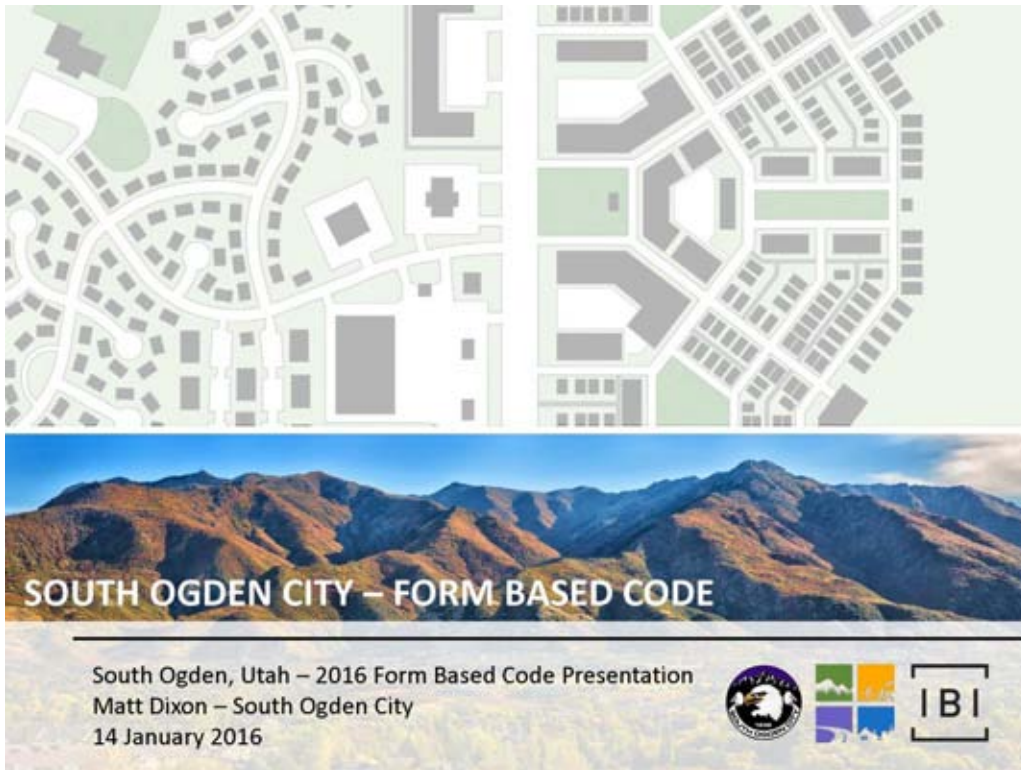
I hereby certify that the foregoing is a true, accurate and complete record of the South Ogden City Planning Commission Meeting held Thursday, January 14, 2016.


Leesa Kapetanov, City Recorder

February 11, 2016
Date Approved by the Planning Commission

Attachment A

Form Based Code Presentation



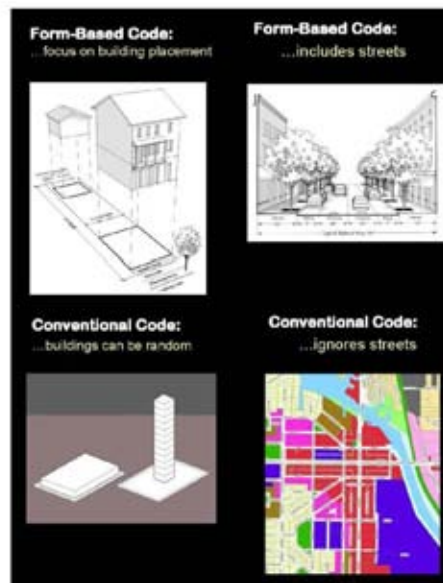
FORM BASED CODES – *IT'S A MATTER OF PRIORITIES*

FORM BASED CODES

1. Form
2. Use
3. Management

EUCLIDEAN ORDINANCE

1. Use
2. Management
3. Form



FORM BASED CODES – *ULTIMATE GOAL*

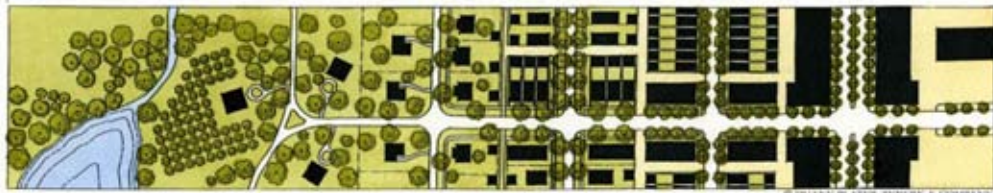
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URBAN/RURAL TRANSECT



NATURAL | RURAL | LOW-DENSITY | NEIGHBORHOOD | MAIN STREET | DOWNTOWN

TWO DISTRICTS WITH DIFFERENT CHARACTER



SOUTH OGDEN SUBDISTRICTS



Town Center "Core"

Building Types Allowed in Subdistrict



Storefront



5 Story Maximum – 2 Story Minimum

The Town Center "Core" constitutes the center of the community and heart of the new town center, and includes the majority of the shops and workplaces within the neighborhood. The storefront building type that comprises this district defines a street wall along the primary streets of the area with storefront glass windows. Upper stories of the storefront building may be utilized for living and working.



Town Center "General"

Building Types Allowed in Subdistrict



Storefront



General Stoop



Row Building



Civic Building

5 Story Maximum – 1 Story Minimum

The Town Center "General" District serves as the interstitial fabric of the city, separate from the defined center or core and the edges. This area is primarily comprised by both the storefront building, and the more generic stoop building which have lower minimum transparency levels dominates, mainly occupied by office and residential uses at a variety of scales.



-  Town Center "Core"
-  Town Center "General"
-  Riverdale Road "General"
-  40th Street "General"
-  Edge



Riverdale Road "General"

Building Types Allowed in Subdistrict



Storefront



General Stoop



Row Building



Limited Bay



- Town Center "Core"
- Town Center "General"
- Riverdale Road "General"
- 40th Street "General"
- Edge

5 Story Maximum

The Riverdale Road "General" Subdistrict serves as the interstitial fabric of the city, separate from the defined center or core and the edges. This area is primarily comprised by both the storefront building, and the more generic stoop building which have lower minimum transparency levels dominates, mainly occupied by office and residential uses at a variety of scales. This Subdistrict also allows the limited bay building type to allow more flexibility for auto-oriented uses.



40th Street "General"

Building Types Allowed in Subdistrict



Storefront



General Stoop



Row Building



Civic Building



- Town Center "Core"
- Town Center "General"
- Riverdale Road "General"
- 40th Street "General"
- Edge

3.5 Story Maximum

The 40th Street "General" Subdistrict combines the storefront building and stoop building to create a corridor that supports a future transit line along 40th Street. Development along this corridor will be at a smaller scale and finer grain, in relation to the town center.



Edge

Building Types Allowed in Subdistrict



Yard Building



Civic Building



Row Building

3.5 Story Maximum

The Edge Subdistricts are made up of smaller scale residential buildings, which provide a buffer between single family neighborhoods and the Core and General Subdistricts.



-  Town Center "Core"
-  Town Center "General"
-  Riverdale Road "General"
-  40th Street "General"
-  Edge



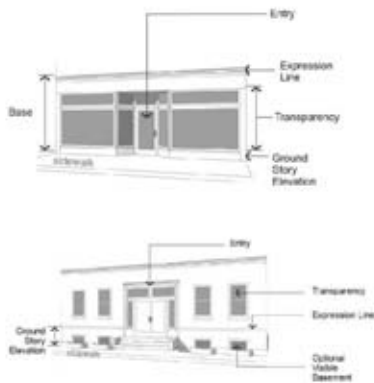
USES PER SUBDISTRICT

Uses	Subdistricts				
	Bayou Center "Creative"	North Center "Creative"	Flowerdale Road "Creative"	14th Street "Creative"	Edge
Residential & Lodging					
Residential	●	●	●	●	●
Hotel & Inn	●	●	●	●	●
Residential Care	●	●	●	●	●
State					
Assembly	●	●	●	●	●
Transit Station	●	●	●	●	●
Hospital & Clinic	●	●	●	●	●
Library/Museum/Post Office (or combination)	●	●	●	●	●
Police & Fire	●	●	●	●	●
School	●	●	●	●	●
Retail					
Neighborhood Retail	●	●	●	●	●
General Retail	●	●	●	●	●
Outdoor Sales Lot	●	●	●	●	●
Service					
Neighborhood Service	●	●	●	●	●
General Service	●	●	●	●	●
Vehicle Service	●	●	●	●	●
Office & Industrial					
Office	●	●	●	●	●
Craftsman Industrial	●	●	●	●	●
Infrastructure					
Parking Lot	●	●	●	●	●
Parking Structure	●	●	●	●	●
Utility & Infrastructure	●	●	●	●	●
Open Space	●	●	●	●	●
Accessory Uses					
Home Occupation	●	●	●	●	●
Outdoor Storage of Goods	●	●	●	●	●
Parking Lot	●	●	●	●	●
Parking Structure	●	●	●	●	●

- KEY**
- Permitted
 - Permitted in Upper Stories Only
 - Permitted with Development Standards
 - Requires a Conditional Use Permit

BUILDING DESIGN GUIDELINES

Entrance Types



Materials

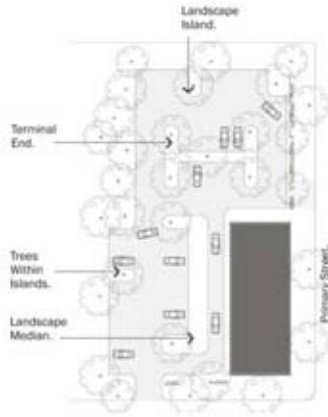


Balconies

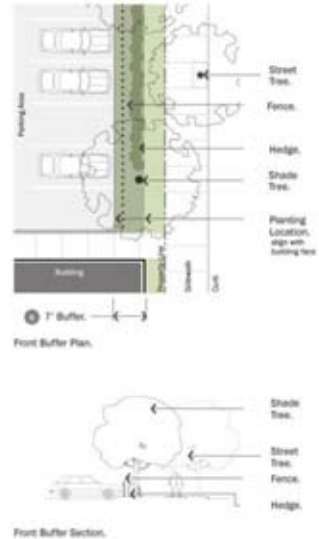


LANDSCAPE REQUIREMENTS

Interior Parking Lot Landscape



Frontage Buffer Landscape

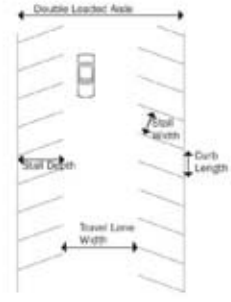


PARKING REQUIREMENTS

Required Off-Street Vehicular Parking

Use	Required Vehicle Space	Use	Required Spaces
Residential		Multifamily	Minimum 2 spaces or 20 spaces / bedroom, whichever is greater
Single Family, all types, or Multifamily, 1 Bedroom	1.5 / Dwelling Unit	Civic/Institutional	Minimum 2 spaces, 1 / additional 10,000 sq ft
Multifamily, 2 Bedrooms	2 / Dwelling Unit	Retail	Minimum 2 spaces, 1 / additional 3,000 sq ft
Multifamily, 3 or 3+ Bedrooms	2 / Dwelling Unit	Services	Minimum 2 spaces, 1 / additional 1,000 sq ft
Hotel & Inn	1 / Room & 1 / 200 sq ft Office and Dining Room	Office	Minimum 2 spaces, 1 / additional 10,000 sq ft
Residential Care	20 / Unit & 80 / Employee	Open Space	Per Zoning Administrator
Civic/Institutional			
Assembly	1 / 10 seats		
Transit Station	Per Zoning Administrator		
Hospital	20 / Bed & 80 / Employee		
Library / Museum / Post Office (see distribution)	1 / 800 sq ft		
Police & Fire	Per Zoning Administrator		
Post Office (distribution)	1 / 400 sq ft		
School - Pre-K to Jr. High	1 / Classroom & 1 / 200 sq ft Office		
School - High School, Higher Education	1 / Classroom, 1 / 200 sq ft Office & 1 / 10 Student		
Retail			
Neighborhood Retail	1 / 100 sq ft		
General Retail	1 / 200 sq ft		
Outdoor Sales Lot	1 / 200 sq ft of Sales Area, with 1 / 10 Vehicle Display		
Services			
Neighborhood Service	1 / 200 sq ft		
General Service	1 / 200 sq ft		
Eating & Drinking Establishments	2.5 / 1 seats 1 / 10 number of employees		
Vehicle Services	2 / Vehicle Bay & 1 / 200 sq ft of Shop		
Office & Industrial			
Neighborhood, General Office	1 / 100 sq ft		
Craftsmen Industrial	1 / 1,000 sq ft of Production Space & 1 / 200 sq ft of Retail Space		
Open Space & Recreation			
Open Space & Recreation	Per Zoning Administrator		

Parking Lot Layout

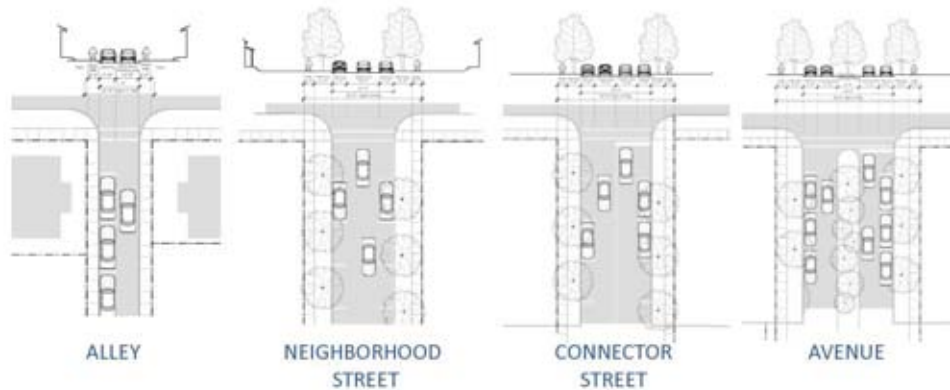


SIGN REQUIREMENTS



STREET TYPES PER SUBDISTRICT

- All street types are allowed in all subdistricts as applicable



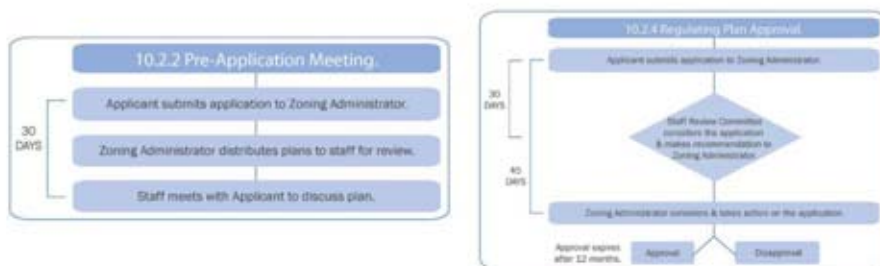
OPEN SPACE TYPES PER SUBDISTRICT

- Open Space types allowed in FBC, but vary by subdistricts as applicable



ADMINISTRATION

- An Administration Section will also be added.
- We will be working with staff to calibrate the Form Based Code Administration Section to current South Ogden administration procedures.



Attachment B

Handout from Wes Stewart

3625 Jefferson
Wesley Stewart comments

Proposed 40th Street Redevelopment

I understand the desire by South Ogden City & City Staff to have commercial businesses in the city. They create more tax revenue ^{in order to} which ~~can be~~ run ~~by~~ the city, and if properly used could help keep property taxes down.

My first question is have ^{all} current residents to be impacted by the city staff sponsored redevelopment plan been conducted? If not, when are they planning to contact them? A simple posting on the cities website and standard examiner is not sufficient. Why wouldn't citizens to be impacted so directly not be given a letter by South Ogden City to inform them regarding ^{this proposed change}? The only reason I can see is they fear public resistance to an idea they have not sought the public's input directly, or notified residents of proposed zoning updates.

If residents who currently live in the area want to remain in their homes (which can be expected that most residents would), then they should be allowed this as long as they or any of their posterity desires. Some homes are passed from generation to generation in the older R-2 areas of South Ogden. Their right to do this should be safe guarded with guarantees that their property value taxes do not increase more than other R-2 zoned residents.

It would also be good if all residents living in the ^{Z,} R-2 zone can have safeguarded that their property taxes won't go up as a result of supply and demand (There will be less available R-2 zoned houses).

Also, is there really an interest for commercial businesses in south Ogden? Gas station location ^{on 40th Street} set vacant for many years (gas shown as under a dollar) - at least 25 years ago. ^{It still is vacant today.} Country Club movie theater also was vacant for many years. I think it could be successful if venues like at the Fried Center are first installed in city parks along 40th Street with the idea mentioned in field of dreams, "If you build it they will come." - Well perhaps. The location proposed is on a hill, which is not preferred by most customers, and more difficult to meet ADA compliance if existing slopes along the street exceed 2%. I think access can be provided, but much of it will not be ADA compliant along the main sidewalk areas (Has city staff set an automatic grade level on the pavement to see what existing slopes are?)

Again, would be best to have nice features installed in parks (not just a basketball court and large grass field.) Why would more businesses want to locate here if current businesses aren't able to thrive? How much parking for businesses would be available? Would there be enough available parking stalls to support a business citizens would patronize?

3.

Can the development take place in two phases, with the development happening first on the south side of 40th Street (where the majority of the businesses currently are located)? Then after, and if only I might add, that it is a booming success, expand commercial lots to the north; after the properties have been legally acquired by the city.

My final question is can South Ogden City afford it? If not why are we spending tax payer dollars on something that residents and businesses are not able to pay for? I know there are many residential streets located North of 40th Street (where the residents have been paying their fair share of property taxes) and they see very little done in maintenance of the public streets which are unraveling at an accelerated rate which may be in part due to improper maintenance of asphalt slurry seals and rock chip seal coat preservation, or simply no life left in the pavement. Asphalt does not last much over 20 years.
Can residents see an anticipated roadway repair/replacement schedule for their individual streets? It would be also helpful to get the schedule for planned sidewalk improvements for the various streets that people live on. When will this schedule be available for residents? Would also be nice to see proposed 40th street

4.

I live in an older neighbor hood in the K-2 zone. I have heard of some neighbor's reporting their neighbor's lot to the enforcement officer. I am aware of 2 instances of this happening resulting in both persons working from little in their yards to doing almost completely nothing. While code enforcement and fines are great avenues for raising funds to give a code enforcement a job (would be interesting to know ^{where} extra funds generated (if any) are used in our city. Many of the older homes have been owned by the elderly folks who have been living in South Ogden much of their lives. There is a scripture found in Matthew 23:14 saying, "Woe unto you, scribes and Pharisees, hypocrites! for ye devour widows' houses, and for a pretence make a long prayer: therefore ye shall receive the greater damnation." I would hope that this would not be the situation in any way shape or form that widows should feel their homes may be demolished. How would you and city council members feel if in 20-30 years ^{from now} when you are old and out of strength & money have the city where you have lived tell you you must move? Have community beautification and volunteer help been sought to beautify elderly residents homes instead of evicting them? 36th street needs a median lane prior to widening on 40th street. WSU events, usually held in the evenings, is a temporary traffic impact, and quickly disperses except for the yearly 29th fireworks.

City Council Members and Planning Commissioners, 5.
I would petition you to postpone voting^(OR Vote Down) on whether
to adopt "form based code" until all south ogden
City Residents (OR at least those living within 500' of
the impacted areas of proposed zoning changes) have
been notified. Also residents should have opportunity to
review available city documents including traffic
Studies, etc. So they can have say on what should be
done in their residential neighborhood. The proposed uses
are not all conducive to typical residential neighborhoods
for which the residents purchased their properties. Citizens and
Residents have a right to have their questions answered on something
as life changing as this will be for residents should this become
the new law of the city, I feel something like this should
be left to the voters to decide - Not five city council
members who live far away from the affected areas. For
form based code I would ask you to vote "NO!" See
Next Sheet for Existing Commercial Businesses on 40th Street
half of which are vacant and have struggled well before
expansion along 40th street was entertained),



Churches and schools have been approved in our residential communities for years. Taking out homes to expand businesses that residents don't want close to where they have lived is a bad idea. The few businesses that have been allowed along 40th street, have all been on main road intersections. Many businesses have failed here. The country club theater was vacant for many years. The gas station on 40th and Monroe has been vacant 20 years or so. The one attractive element is the park on 40th street, which will become less attractive when the road is widened. Between Adams and the Hospital, half of the available commercial lots are empty and have been for some time.

City Beat

RECREATION

BASKETBALL

South Ogden City will be running an adult Men's and adult Women's basketball league as well as youth boys and girls competitive basketball leagues for grades 3rd-9th. Registration will run Feb. 1 2016 - Feb. 28, 2016. We also have registration open for adult Dodgeball (Women's and Coed) and adult Volleyball (Women's and Coed) that will run through the same time. If you are interested in any of these leagues, please call us at 801-622-2950 for more information or signup at southogdencity.com.

POLICE

SUB FOR SANTA

South Ogden Police Department wishes to thank each of you who assisted in making Christmas dreams come true this season. The Angel Tree was loaded down this year with the needs and wishes of the children in our community and, as always, the residents and businesses within South Ogden City made sure that each child was taken care of. The families that were as-

sisted each fell on hard times for different reasons. Each family was truly grateful for your generosity and requested their gratitude be expressed. Thank you very much!

WINTER PARKING ORDINANCE

South Ogden City's winter parking ordinance is now in effect. The ordinance runs each year between November 1 and April 1. During these months, vehicles may not be parked on City streets between the hours of 1:00 am and 7:00 am, or during a snowstorm. Please be mindful and observant of this ordinance. It is very difficult for plows to effectively clear snow from roadways when vehicles are left parked on the street. We appreciate your cooperation in helping us keep the roads clear and safe.

FIRE

SURVIVAL CAR KIT

So imagine this. It's January and you are driving in the Virgin River Gorge between St. George and Mesquite. The rain and snow turn to ice on the road. Semi-trucks are jackknifed everywhere and all traffic is stopped. It's dark and it's cold and you only had enough fuel to get to Mesquite. No one's going anywhere for at least 24

hrs. You're hungry and thirsty and there is no cell service in the canyon. The Donner Party flashes through your mind as you remember that your 72 hr. kit is in the garage back home. Wouldn't it be better to have the car survival kit in the car all of the time. Not a bad idea.

Survival Car Kit:

- A 5 gallon bucket with a Gamma Lid works great. (Screw on lid available locally and on line)
- Small Mylar water bags. Good for several years and it doesn't matter if they freeze
- Non-perishable food such as tuna in pouch, energy bars, peanut butter crackers
- A survival blanket or two
- Baby wipes or personal wipes
- Zip lock bags
- Fold up shovel
- Rope or paracord
- Knife or multi-tool
- Duct tape
- First aid items (Band-Aids, antibiotic ointment, pain pills)
- 3 days' worth of prescription meds in little baggies, well-marked
- LED or Maglite flashlight
- Glow sticks
- Jumper cables
- Sign : "HELP ME" on one side, and "I AM OK" on the other side
- Small mirror and whistle
- Extra clothing: gloves, socks, sweatshirt?

- Leaf and Garden Bags (use as a poncho)
- Wind proof matches in water proof container

PUBLIC WORKS

TREE RECYCLING

South Ogden Public Works Department will recycle your discarded Christmas tree. Please bring your tree to one of the areas listed below beginning January 1, 2016 through January 29, 2016. We will not pick up trees at any other locations. Stands, nails, ornaments, lights, etc. that could damage the chipper need to be removed and put into your regular garbage. Please do not discard any paper, garbage or trash at the recycling areas. Thank you for your on-going support in recycling. If you have any questions, please call 622-2900. Listed below are Christmas tree recycling locations:

1. 560 39th across the street, in front of the bowery on the curb
2. Club Heights Park parking lot
3. Madison Avenue Park parking lot
4. Friendship Park parking lot
5. Meadows Park, approx. 5725 South 2000 East at the end of the cul-de-sac in front of the park

EVENTS

MLK-DAY OF SERVICE

Come celebrate Martin Luther King Jr. Day by giving back to your community! South Ogden City will host the 3rd annual MLK-Day of service on Monday, January 18th. We will be meeting at South Ogden City Hall for check-in and breakfast from 9am-10am. From 10am-12noon we will be doing service projects around the community. Register online at: www.southogdencity.com/mlk_day_of_service

CITY COUNCIL

A Message from Mayor James Minster

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South Ogden Citizens and Businesses, I would like to welcome each of you to 2016. I would like to report to each of you that our city is in good shape; our staff has been working very hard to provide services to our Businesses and Citizens. Our City Council is working hard to ensure that we are financially sound. I would like to express my thanks to our employees for how hard they work in maintaining the needs of our citizens and business alike. Thanks everyone.

I am excited as we look to the New Year. I'm pleased to report the work on 40th project is moving ahead. We have many great, new businesses coming to our city. We are also pleased with how the Harrison, US89 project is turning out. Young Subaru will be expanding their busi-

ness. As our city is about built out, we are very mindful of the future growth of South Ogden City.

I want to thank each of you for the support you give me and the respect that so many of you have given over the past 14 years. "Gratitude is the key to happiness." C.S. Lewis. I am so grateful for the privilege of getting to know so many of you. It is our citizens and businesses alike that makes South Ogden City Great. Have a very special new year and remember that we are here to serve you.

-James F. Minster



Without citizens input

OR informing citizens of "form based code" and disrupting neighborhoods along 40th Street?

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South Ogden: Planning Commission

Search again

Entity: South Ogden

Body:

Subject: Zoning

Notice Title: January 14, 2016 Planning Commission Meeting

Notice Type: Notice, Meeting

Event Start Date & Time: January 14, 2016 5:30 PM

Event End Date & Time: January 14, 2016 8:00 PM

Description/Agenda:

NOTICE AND AGENDA
SOUTH OGDEN CITY PLANNING COMMISSION MEETING
Thursday, January 14, 2016

Notice is hereby given that the South Ogden City Planning Commission will hold a meeting, Thursday, January 14, 2016, beginning at 6:15 p.m. in the Council Chambers located at 3950 Adams Avenue, South Ogden, Utah.

A briefing session will be held at 5:30 pm in the conference room and is open to the public.

I. Call to Order and Overview of Meeting Procedures - Chairman Todd Heslop

II. Zoning Hearing

To Receive and Consider Comments on the Following Items:

- A. Adopting the Form Based Code and Amending the Zoning Map
- B. Amending Title 10, Chapter 23, Replacing it With the Proposed Water Efficient Landscape Ordinance
- C. Amending Title 11 of the City Code, removing the City Council from the subdivision approval process and making various other 'housekeeping' corrections

III. Zoning Actions - Legislative

- A. Discussion and Recommendation on Adoption of the Form Based Code and Amending the Zoning Map
- B. Discussion and Recommendation on Amending Title 10, Chapter 23, Replacing it With the Proposed Water Efficient Landscape Ordinance
- C. Discussion and Recommendation on Amending Title 11 of the City Code, Removing The City Council From The Subdivision Approval Process And Making Various Other 'Housekeeping' Corrections

Meeting Location:

3950 Adams Ave.
South Ogden , 84403

Contact Information:

Leesa Kapetanov
8016222709

Download Attachments:

Public Information Handout
Added: 2016/01/12 04:01 PM

Audio File Address

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Options

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Like Sign Up to see what your friends like.

Why was this posted so late? The public is being given 50 hours to look over a 200 page document possibly affecting the rest of their lives.

Was the document

<http://www.utah.gov/pmn/sitemap/notice/308719.html>

1/14/2016

IV. Conditional Use Actions - Administrative
A. Consideration of Business License Applications for a Holding Company and Forensic Accounting Business Located at 6045 S Ridgeline Dr., Apt. B108 (Falls Apartments)

V. Special Items
A. Amending the Planning Commission Rules and Procedures

VI. Other Business

VII. Approval Of Minutes Of Previous Meeting
A. Approval of December 10, 2015 Briefing Meeting Minutes
B. Approval of December 10, 2015 Meeting Minutes

VIII. Public Comments

IX. Adjourn

Posted and emailed to the State of Utah Public Notice Website January 8, 2016
The undersigned, duly appointed city recorder, does hereby certify that a copy of the

<http://www.utah.gov/pmn/sitemap/notice/308719.html>

1/14/2016

above notice and agenda was posted in three public places with the South Ogden City limits on January 8, 2016. These public places being City Hall (1st and 2nd floors), the city website (www.southogdencity.com), and emailed to the Standard-Examiner. Copies were also mailed to each commissioner.

← The packet with "Public Information Handout" was not posted until 2016/01/12 4:01 P.M.

Leesa Kapetanov , City Recorder

In compliance with the Americans with Disabilities Act, individuals needing special accommodations, including auxiliary communicative aids and services during the meeting should notify Leesa Kapetanov at 801-622-2709 at least 48 hours in advance.

FINAL ACTION MAY BE TAKEN ON ANY ITEM ON THIS AGENDA

Notice of Special Accommodations:

In compliance with the Americans with disabilities Act, individuals needing special accommodations including auxiliary communicative aids and services during these hearings/meetings should notify Leesa Kapetanov at 801-622-2709 at least three days prior to the meeting

Notice of Electronic or telephone participation:

NA

Other information:

This notice was posted on: January 12, 2016 04:01 PM
This notice was last edited on: January 12, 2016 04:01 PM

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South Ogden: Planning Commission

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Entity: South Ogden

Body: Planning Commission

Subject: Zoning

Notice Title: Notice of Public Hearings January 14, 2016

Notice Type: Notice, Hearing

Event Start Date & Time: January 14, 2016 6:15 PM

Event End Date & Time: January 14, 2016 8:00 PM

Description/Agenda:

NOTICE OF PUBLIC HEARING
SOUTH OGDEN CITY PLANNING COMMISSION

Notice is hereby given that the South Ogden City Planning Commission will hold public hearings on the following proposed amendments to the City's Zoning Ordinance:

1. Adopting a form based zoning ordinance for the downtown area of the City, including areas along Washington Boulevard, Riverdale Road, and 40th Street. The zoning map would also be amended in accordance with the areas specified in the form based zoning ordinance; ← *where can this be found online (or otherwise)?*
2. Replacing Title 10, Chapter 23 of the City Code with a new water efficient landscape ordinance, and
3. Amending Title 11 of the City Code, removing the City Council from the subdivision approval process and making various other 'housekeeping' corrections.

The hearings will be at 6:15 PM, or as soon as the agenda permits, during the regularly scheduled South Ogden City Planning Commission Meeting on January 14, 2016. The meeting will be located at City Hall, 3950 Adams Ave., in the city council chambers. Any interested person is invited to attend and offer comment or respond in writing.

For more information, please contact Leesa Kapetanov at 801-622-2709 during regular office hours.

BY ORDER OF THE SOUTH OGDEN CITY PLANNING COMMISSION
Leesa Kapetanov, City Recorder

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during the meeting should notify the City Recorder at 801-622-2709 at least 48 hours in advance.

Notice of Special Accommodations:

Even citizen see what these changes are to be? Where is the transparency? By eliminating City Council from the subdivision approval process, this would give mayor appointed planning commission members only one say on the matter. It is good to have a second voter elected second set of eyes. It gives all people some developed areas work as citizens desire. Was a one change to set if right scenario.

Meeting Location:

3950 Adams Ave.
South Ogden , 84403

Map this!

Contact Information:

Leesa Kapetanov
8016222709
lkapetanov@southogdencity.com

Audio File Address

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* Can a disclaimer be placed on this website and city council website that information posted here may not be the most currently available information? Then provide a link which would take a person to where the most current information is posted?

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 City Code | Forms | General and Capital Facilities Plans | Planning Commission Agenda & Minutes | Zoning Map | Annexation Policy Plan |

Planning Commission Agenda & Minutes

2015		
January	January 8, 2015 PC Agenda	January 8, 2015 PC Minutes
February	February 12, 2015 PC Agenda	February 12, 2015 PC Minutes
March	March 12, 2015 PC Agenda	March 12, 2015 PC Minutes
April	April 9, 2015 PC Agenda	April 9, 2015 PC Minutes
May	May 14, 2015 PC Agenda	May 14, 2015 PC Minutes
June	June 11, 2014 PC Agenda	June 11, 2015 PC Minutes
July	July 9, 2015 PC Agenda	July 9, 2015 PC Minutes
August	August 13, 2015 PC Agenda	August 13, 2015 PC Minutes
September	September 10, 2015 PC Agenda	September 10, 2015 PC Minutes
October	October 8, 2015 PC Agenda	October 8, 2015 PC Minutes
November	November 12, 2015 PC Agenda	November 12, 2015 PC Minutes
December	December 10, 2015 PC Agenda	
2014		
January	January 16, 2014 PC Agendas	January 16, 2014 PC Minutes
February	February 13, 2014 PC Agenda	February 13, 2014 PC Minutes
March	March 13, 2014 PC Agenda	March 13, 2014 PC Minutes
April	No PC Meeting	
May	May 8, 2014 PC Agenda	May 8, 2014 PC Minutes
June	June 12, 2014 PC Agenda	June 12, 2014 PC Minutes
July	July 10, 2014 PC Agenda	July 10, 2014 PC Minutes
	July 23, 2014 PC Special Meeting Agenda	July 23, 2014 Special Meeting Minutes
August	August 14, 2014 PC Agenda	August 14, 2014 PC Minutes
September	September 11, 2014 PC Agenda	September 11, 2014 PC Minutes
October	October 9, 2014 PC Agenda	October 9, 2014 PC Minutes
November	November 12, 2014 Combined Council/PC Meeting	November 12, 2014 Combined Council/PC Meeting Minutes
	November 13, 2014 PC Agenda	November 13, 2014 PC Minutes
December	December 4, 2014 PC Special Meeting	December 4, 2014 PC Special Meeting Minutes
	December 11, 2014 PC Agenda	December 11, 2014 PC Minutes
2013		
February	February 14, 2013 Agenda	February 14, 2013 PC Minutes
	February 21, 2013 Agenda	February 21, 2013 PC Minutes
March	March 14, 2013 Agenda	March 14, 2013 PC Minutes
April	April 11, 2013 Agenda	April 11, 2013 PC Minutes
May	May 9, 2013 Agenda	May 9, 2013 PC Minutes
	May 16, Special Meeting	May 16, Special Meeting PC Minutes
June	June 13, 2013 Agenda	June 13, 2013 PC Minutes
July	July 11, 2013 Agenda	July 11, 2013 PC Minutes
September	September 12, 2013 Agenda	September 12, 2013 PC Minutes
October	October 10, 2013 Agenda	October 10, 2013 PC Minutes
November	November 14, 2013 Agenda	November 14, 2013 PC Minutes
December	December 12, 2013 Agenda	December 12, 2013 PC Minutes

This is otherwise misleading information here leading one to think there is no meeting to be held. When one Googles "South Ogden City Planning Commission" this page comes up.

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Ogden & Provo have video recordings available to public. Why doesn't our city?

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About the Utah Public Notice Website

The Utah Public Notice Website is dedicated to bringing greater accessibility to public notice information and increased participation by the public. It is a central source for all public notice information statewide, provided in a standardized format for publishing. It allows the public to subscribe by either RSS feed or email to a Body to receive its notices and updates.

Public notice informs members of the general public of government or government-related activities which may concern their local area, municipality, county, or state. The Open and Public Meetings Act () mandates that notice and the agendas of public meetings be available to the public. The minutes of open meetings and public information distributed at the open meeting are public information. A state agency Body and the legislative body of a county, city, or town are required to post these materials on the Utah Public Notice Website. The audio recordings of open meetings are also public information and the audio recordings of state bodies must be available through the website, either by posting or linking. Audio recording of open meetings of the state's political subdivisions are not required to be on the website, but must be otherwise available to the public.

Requirements for other types of public notice can be found in more than 60 statutes in Utah law. They are located in statutes regulating the actions of state agency bodies and commissions, and many can be found in the laws that govern counties (Utah Code Title 11 and Title 17), municipalities (Utah Code Title 10 and Title 11), local or special districts (Utah Code Title 17B, 17C, and 17D), and other references.

In some specific mandates, public notices must not only be posted on the Utah Public Notice Website, but also on the Legal Notice Website (as established in). However, posting public notice on the Legal Notice Website does not relieve a Body from posting public notice on the Utah Public Notice Website if legally required.

Understanding Notices:

Click on a term to read its definition

Body

A Body is any administrative, advisory, executive, or legislative body of the state or its political subdivisions that: is created by the Utah Constitution, statute, rule, ordinance, or resolution; consists of two or more persons; expends, disburses, or is supported in whole or in part by tax revenue; and is vested with the authority to make decisions regarding the public's business.

Public Notice

Public Meeting

Public Hearing

Public Information:

Many bodies now have the minutes, audio recordings, and other materials from their open and public meetings on the website. All state agency bodies are required to post this information, while specified local government bodies are required to post minutes and handouts. To find this public information, search for the Body, then look at the attachments.

Create your own Public Notice Widget

You can now easily display notices on your individual website

About Public Notice Website:

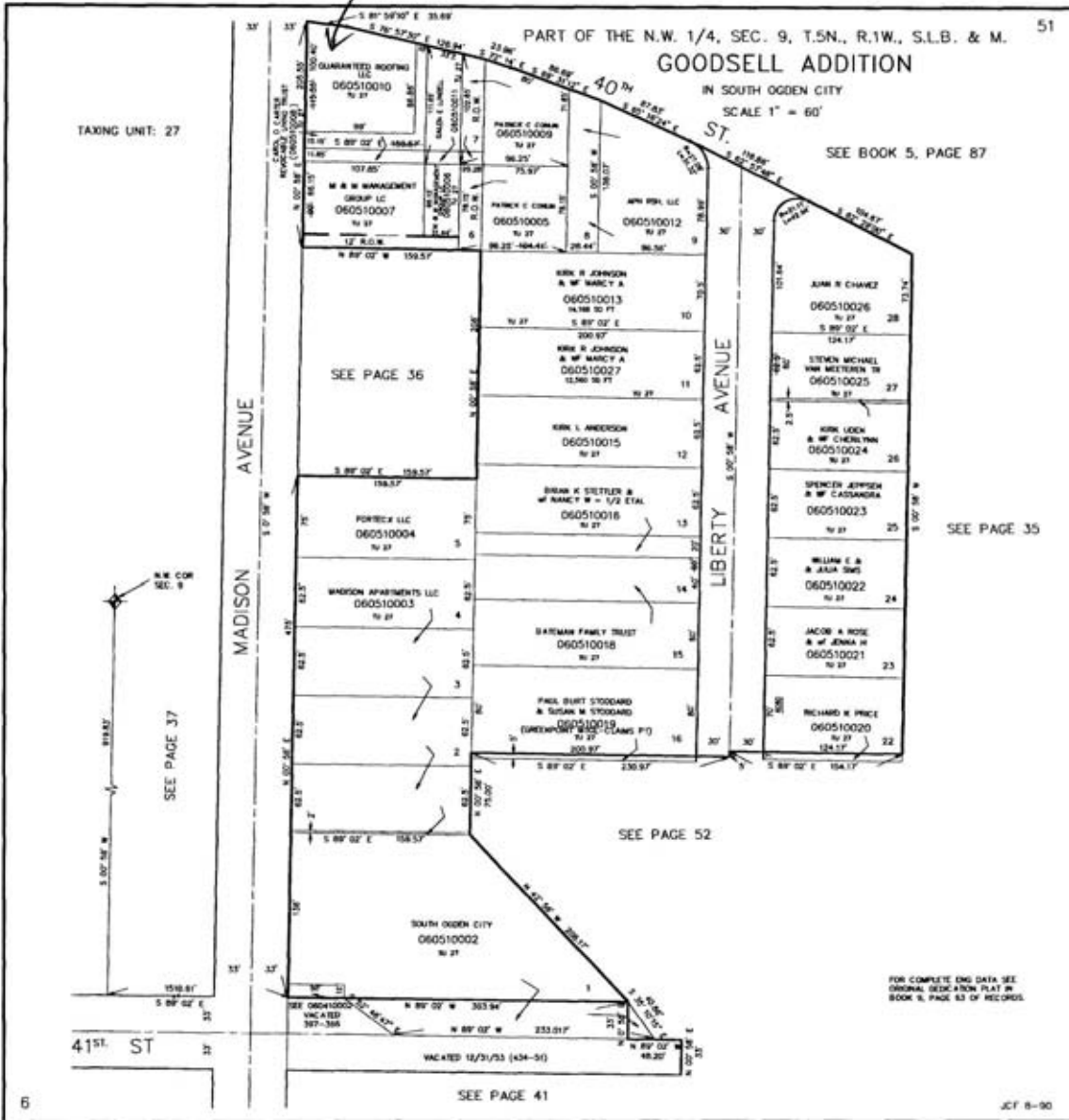


Utah's bodies are required to post notices of open meetings and other public notices on the Utah Public Notice Website. The statute establishing this website is in , but there are many mandates dictating the information and timing of public notices.

Training

The Utah State Archives has tools to assist those tasked with posting public notices online.

Many Commercial Lots have struggled Why invite more? 14,
 Long Time Abandoned Gas Station on
 40th Street,



Market Tax Value

Weber County Parcel Search
 2380 Washington Blvd Ogden, Utah
 Weber County Home - Parcel Search - Interactive Maps

Print this page

Current Taxes	Ownership Info	Tax History	Property Characteristics	Delinquent Taxes
----------------------	-----------------------	--------------------	---------------------------------	-------------------------

< --Back to Search

Make a Payment Online!
Property Tax
 Online Payments

Parcel # 06-051-0010

Each of the four areas below expand to provide you (up to 20 years of) back history. For example: Go to item #3 "Taxing Unit Areas" and click on "View All Years", then click on one of the year's listed. You can then click on one of the entity names listed, for example 'Library', and see what you have paid to that entity for the prior years.

Tax History

1. Property Charges

[View All Years] [Collapse Section]

Year	Asmnt	Charge	Direct Charge	Penalty	Total
2015	\$1,370.96	-		\$13.71	\$1,384.67

2. Property Values

[View All Years] [Collapse Section]

Year	Tax Year Owner	Market Total	Taxable Value
2015	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$95,858.00	\$95,858.00 ↑
2014	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$93,036.00	\$93,036.00 ↑
2013	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$87,905.00	\$87,905.00 ↓
2012	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$96,639.00	\$96,639.00
2011	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$96,639.00	\$96,639.00
2010	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$96,639.00	\$96,639.00 ↓
2009	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$100,994.00	\$100,994.00
2008	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$100,994.00	\$100,994.00
2007	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$100,994.00	\$100,994.00
2006	Guaranteed Roofing Llc % Ron Case 440 S Redwood Rd Salt Lake City Ut 84104	\$100,994.00	\$100,994.00 ↓
2005	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00 ↓
2004	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00
2003		\$129,775.00	\$129,775.00

Are commercial lots being devalued? Seems low for commercial, Property is worth \$1,000 more than in 1997. Why???

\$29K Loss upon selling

2002	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00
2001	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00
2000	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00
1999	Umoh, David S 701 40th St Ogden Ut 84403	\$129,775.00	\$129,775.00
1998	Umoh, David S	\$129,775.00	\$129,775.00
1997	Umoh, David S	\$94,742.00	\$94,742.00
1996	Umoh, David S	\$91,376.00	\$91,376.00
1995	Hardy Enterprises Inc	\$91,376.00	\$91,376.00
1994	Hardy Enterprises Inc	\$91,376.00	\$91,376.00
1993	Hardy Enterprises Inc	\$91,376.00	\$86,807.00
1992	Hardy Enterprises Inc	-	\$86,807.00
1991	Hardy Enterprises Inc	\$91,376.00	\$86,807.00
1990	Hardy Enterprises Inc	\$91,376.00	\$73,100.00

It appears that this was date when gas station became out of business on 40th Street corner and Madison when gas was \$1.11/Gal or so.

3. Taxing Unit Areas

[View All Years] [Collapse Section]

Tax Year	Unit	Rate
2015	27	.014302

4. Payments

[View All Years] [Collapse Section]

Pay Date	Payee	Amount	Status
2015 Total Payments			
		\$ 0.00	

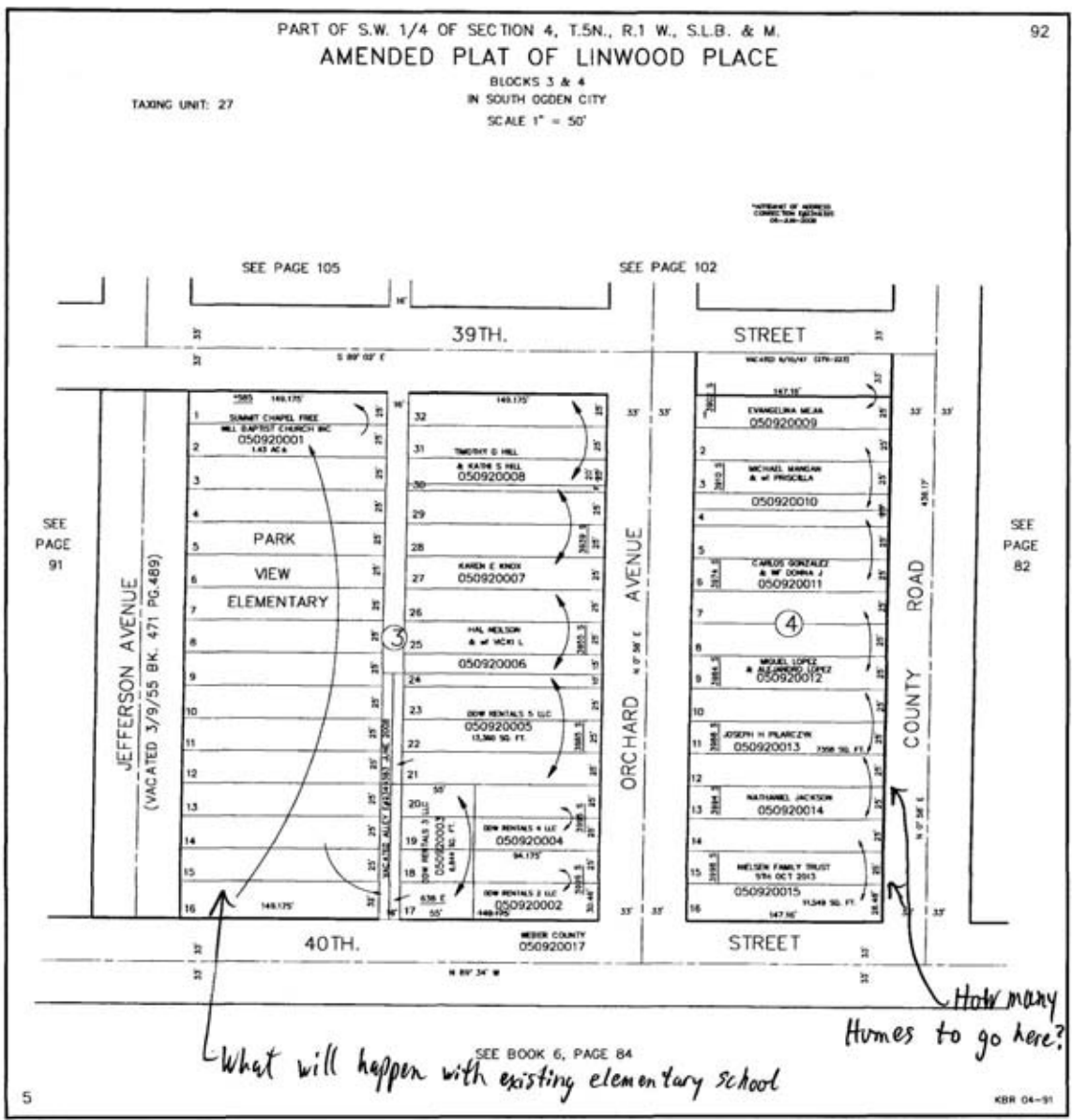


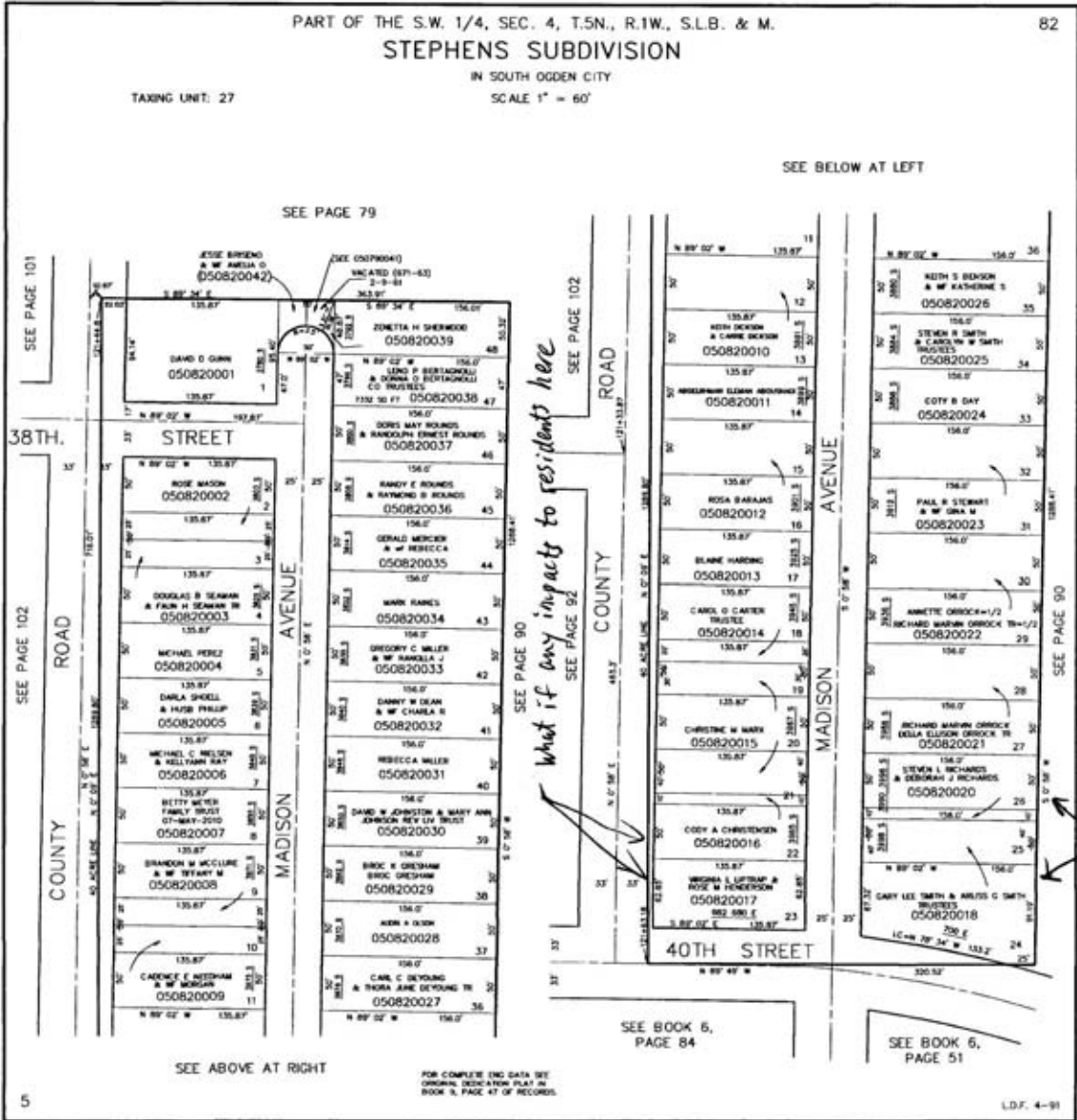
Any questions concerning tax payment information should be directed to:
Weber County Treasurer
 801-399-8454
 2380 Washington Blvd Ste 350 · Ogden, UT 84401

<--Back to Search

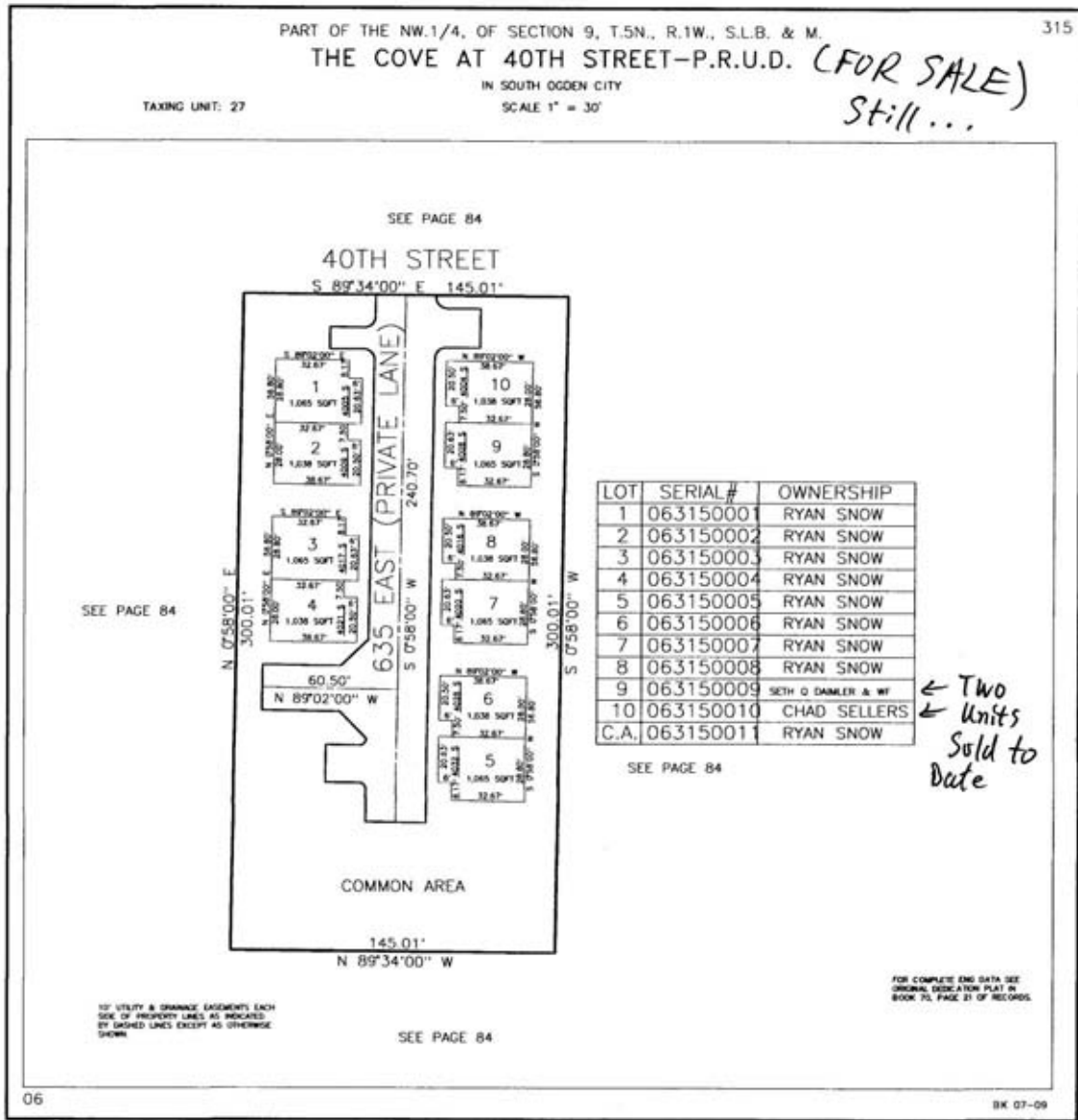
Copyright © Weber County

Unanswered Questions



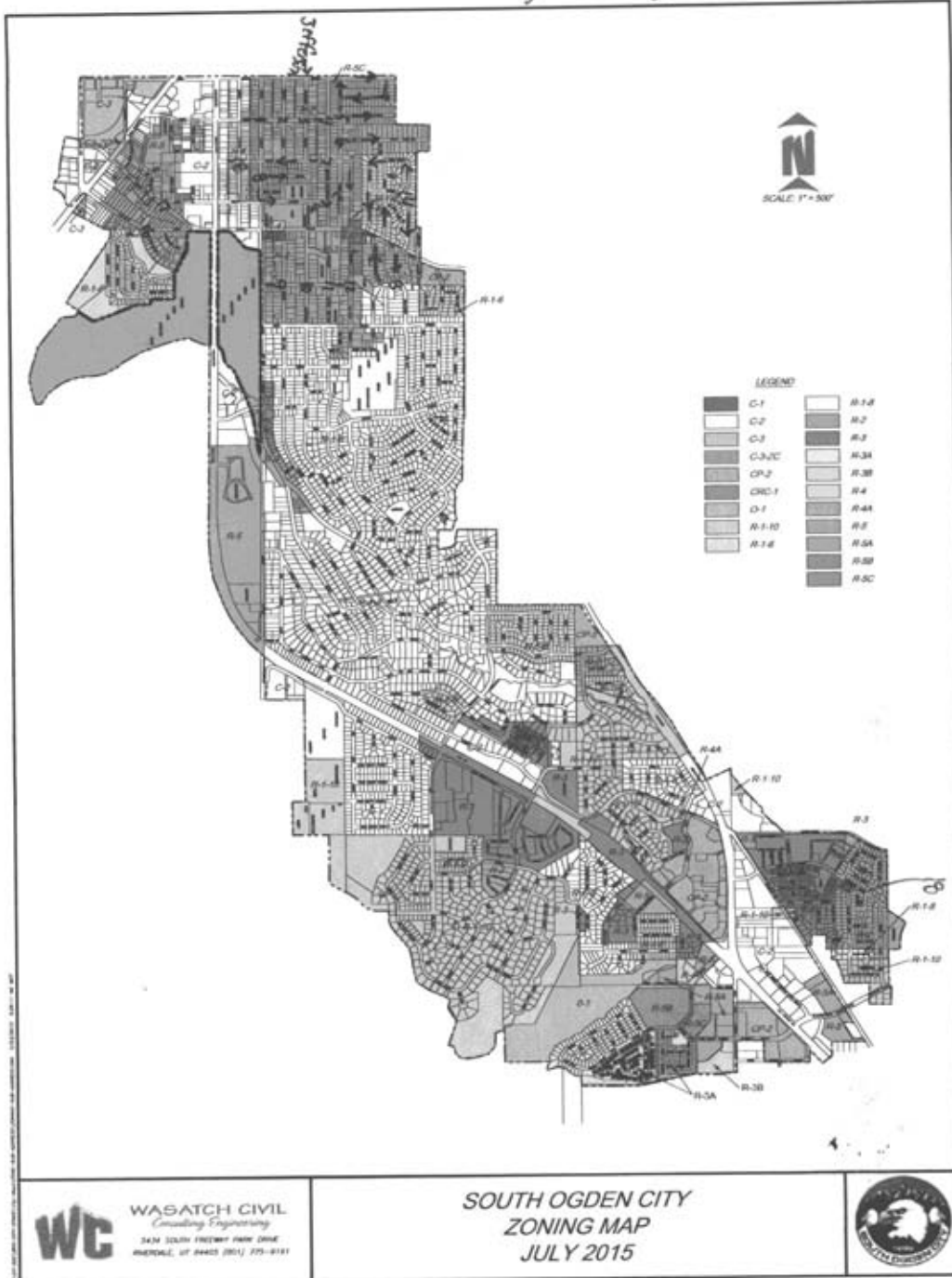


Example of a PRUD's success rate on 40th Street
Lots (Units) have been advertised at an overpriced rate
for many years. Affordable housing is an important element
of a vibrant, functional city.



Existing Zoning

20.



Portions of Concern w/ New Zoning Codes 21.

1.0 South Ogden City Center & 40th Street Corridor

1.1. Introduction

In 2008, an update of the South Ogden City General Plan was completed. This plan presented a vision, and stated a number of goals and policies to direct future development in South Ogden.

Goal 1: Make South Ogden City distinct and identifiable from surrounding municipalities

Policy:

- (1) Develop the east and west sides of Washington Boulevard between 36th and 42nd Streets into a discernable and attractive downtown for South Ogden
- (2) Encourage a major transformation of Washington Boulevard into an urban setting that establishes the sense of downtown to motorists and passersby

Goal 2: Create a distinct city center or "heart of the community"

Policy:

- (1) Develop a community center in the existing downtown area where residents of South Ogden can gather for community events

Goal 3: Facilitate the careful integration of new development and redevelopment in existing neighborhoods

Policy:

- (1) Encourage existing residents to remain downtown and new residents to locate in residential areas between 36th and 40th South
- (2) Maintain stable areas by continuing the existing scale and feel of the surrounding residential blocks
- (3) Facilitate new development and encourage new investment through allowing uses in the core to redevelop in creative, mixed-residential ways
- (4) Facilitate good, non-conflicting transition between commercial and residential uses

Goal 4: Create places for the community to gather and events to draw residents to these places

Policy:

- (1) Clearly designate and signify routes which connect residents to other neighborhoods and important places within the city and adjacent to it
- (2) Improve neighborhood destinations throughout the community

This form-based code is a tool that will allow and promote these goals and policies to develop a city center consistent with the General Plan. This code plans for a future widening of 40th Street to accommodate a form of dedicated transit (streetcar, bus-rapid transit, etc.), and

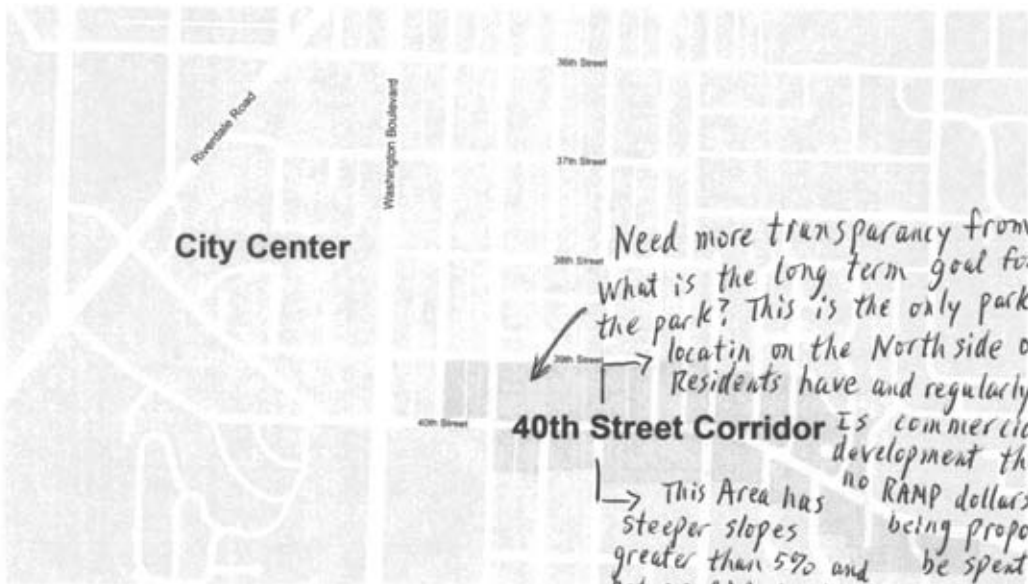


Figure 1.1 (1). Districts.

Need more transparency from City.
 What is the long term goal for the park? This is the only park location on the North side of town Residents have and regularly use.
 40th Street Corridor is commercial development the reason no RAMP dollars are being proposed to be spent here?
 This Area has steeper slopes greater than 5% and not as ADA compliant.
 Do patrons/customers park on 3-4 available stalls along 40th Street or behind the store front?

2.1 General Requirements.

1. Intent.

The standards outlined in this section are intended to:

- (1) Create complete streets that address all modes of travel, including pedestrian traffic, bicycle traffic, transit, and vehicular traffic.
- (2) Address all features of the street right-of-way, including sidewalks, parkways, traffic lanes, bicycle lanes, and medians.
- (3) Provide adequate access to all lots for vehicles and pedestrians.
- (4) Create streets that are appropriate for their contexts in residential, commercial, or mixed Use subdistricts and are designed to encourage travel at appropriate volumes and speeds.
- (5) Create streets and public rights-of-way that result in stormwater runoff quantity reduction and improved quality of stormwater runoff.

2. Applicability.

The standards in this section apply to all vehicular rights-of-way within all Subdistricts.

Exceptions. Washington Boulevard and Riverdale Road are UDOT roads, and the City should work with UDOT on any future design changes, so that these roads can better support the goals of this form based code.

The future re-design of 40th Street will vary depending on whether it contains a transit line, and should be designed specifically for the type of transit mode it will contain.

3. General Requirements.

All proposed streets, landscape or furnishings zones, and sidewalks shall be located in dedicated vehicular Rights-of-Way as required by this article.

- (1) Street Types. All new vehicular rights-of-way shall match one of the street types, refer to 2.4 through 2.8, whether publicly dedicated or privately held.
- (2) Public Use. All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.

4. Street Construction Specifications.

All construction in the right-of-way shall follow specifications defined by the Department of Public Works.

2.2 General Street Type Standards.

1. Street Types.

Street Types defined in this section outline acceptable street configurations. New streets should be designed using the principles and characteristics defined by each street type. The City Manager or Designee, or Public Works Director may require additional right-of-way,

pavement width, or additional street elements depending on unique site characteristics.

2. Graphics.

The graphics provided here, illustrating each street type, are samples of recommendations and illustrate a possible configuration of that street type. By applying the standards outlined, and working with the Department of Public Works and the City Manager, other configurations are possible.

3. Typical Street Elements.

Typical elements of a vehicular Right-of-Way are divided into the vehicular and pedestrian realm. Each street type detailed in this article outlines which facilities are applicable. Refer to Figure 2.2 (1): Typical Right-of-Way Elements.

- (1) Vehicular Realm. The vehicular realm is comprised of vehicular travel lanes, bicycle lanes, and parking lanes.
- (2) Pedestrian Realm. The pedestrian realm is typically comprised of pedestrian facilities, such as sidewalk, path/trail, or off-street bicycle path, and a buffer area consisting of a landscape zone or furnishings zone that serves to buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm.
 - (a) Landscape Zone. A landscape area between the back of curb or edge of pavement to the sidewalk in which street trees, swales, lighting, and signage may be located. Typically used adjacent to residential buildings.
 - (b) Furnishings Zone. A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office buildings.

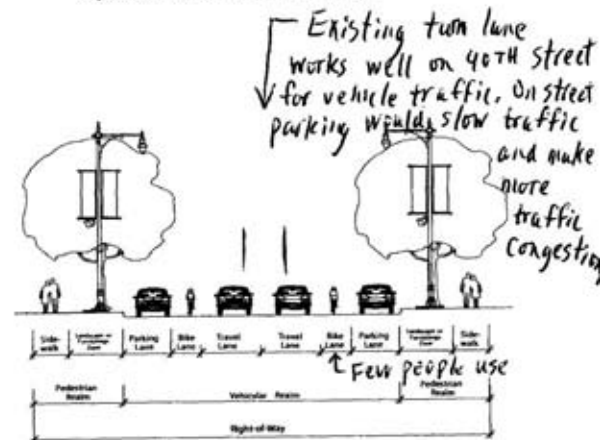


Figure 2.2 (1). Typical Right-of-Way Elements.

2.0 Street Types

What we have currently works better than what is being proposed here.

2.0 Street Types

4. Vehicular Travel Lanes

The number and width of vehicular travel lanes are determined by the Street Type.

5. Vehicular On-Street Parking.

On-street parking, as permitted on designated street types, shall meet the following requirements.

- (1) Parallel and diagonal parking is permitted on designated street types.
- (2) Vehicular Parking Space Dimensions. The appropriate dimensions for on-street parking spaces are outlined in Table 2.2 (1): On-Street Parking Space Dimensions and Figure 2.2 (2): On-street Parking Layout. The width of a parking space shall be measured from the center of a stripe.

6. Bicycle Facilities.

The following types of bicycle accommodations are permitted in the vehicular realm per Street Type. Refer to Figure 2.2 (3).

- (1) Cycle Track. A cycle track is a separate on-road bicycle facility that is typically adjacent to, but physically separated from, vehicular traffic and parking by a barrier.
- (2) Dedicated Bicycle Lane. Dedicated bicycle lanes are striped lanes

Angle (degrees)	Curb Length (feet)	Stall Width (feet)	Stall Depth (feet)
0	20	7	7
45	12	8.5	17
60	10	8.5	18
90	9	8.5	18

Table 2.2 (1). On-Street Parking Space Dimensions.

very narrow stall widths not very user friendly,

on the outside of the outermost travel lanes that are designated for only bicycle use. This lane occurs on both sides of the street and shall be four to six feet wide.

- (3) Designated Shared Lane. A designated shared lane is a lane that is shared between vehicles and bicycles. This lane is typically wider than a standard vehicular lane, minimum 13 feet, in order to accommodate both types of users, and includes a painted bicycle marker combined with a double arrow (known as a "sharrow"). This improvement occurs on both directions.
- (4) Shared Lane. A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.

7. Stormwater Management.

Incorporation of stormwater management best practices into the Right-of-Way design is encouraged, such as incorporating drainage swales and slotted curbs into the Landscape Zone/Furnishing Zone, or permeable paving in the parking lane.

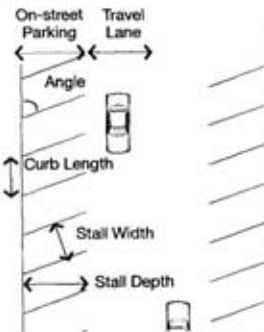


Figure 2.2 (2). On-Street Parking Layout.

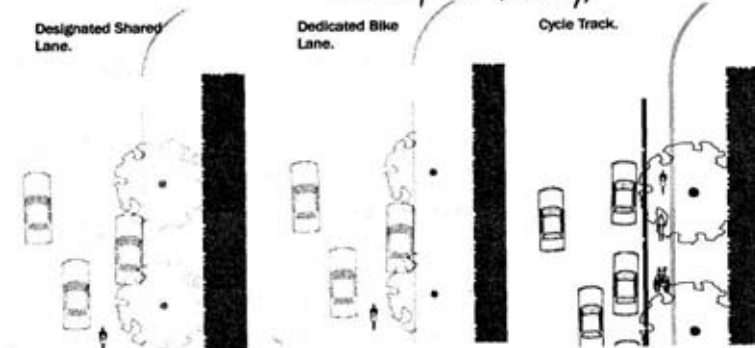


Figure 2.2 (3). On-Street Bicycle Facilities.

2.6 Neighborhood Street.

1. Intent.

The Neighborhood Street is a low capacity street designed for slow speeds with a standard right-of-way. It primarily serves those residences or businesses directly adjacent to it. Refer to the typical plan and section, Figure 2.6 (1).

2. General Requirements.

The Neighborhood Street shall be developed using the standards in Table 2.6 (1). *This may work in California, AZ, Seattle WA, or Florida where there is no snow, but not very well in Utah. My cars have been vandalized and attempted grand auto theft when parked on street.*

** Sidewalks would be nice to have on at least one side of the R-2 zones, please consider without making our driveways illegal.*

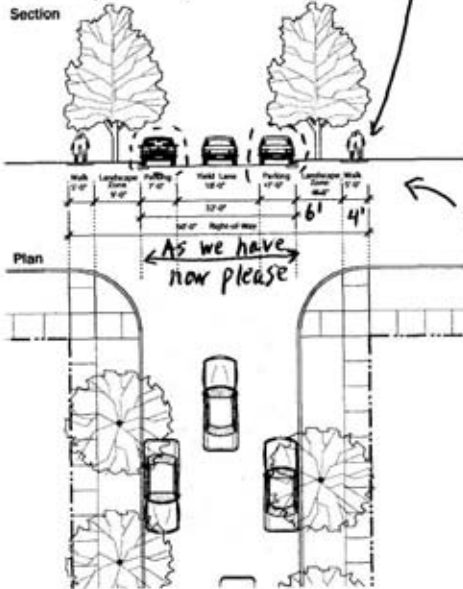


Figure 2.6 (1). Typical Neighborhood Street.

Neighborhood Street Requirements

Permitted Subdistricts All Subdistricts

Permitted Adjacent Building Types All Building Types

Typical Right-of-Way Width 60'

Vehicular Realm

Travel Lanes 1 yield lane

Lane Width 18'

Allowable Turn Lanes Not applicable

Parking Lanes¹ Parallel required on one side of street

Pavement Width 32', 20' for alternative

Median Prohibited

Bicycle Facilities² Shared

Pedestrian Realm

Pedestrian Facilities Minimum 5 feet wide clear sidewalk on both sides

Street Buffer Minimum 9 feet wide Landscape Zone (Parkway)

¹ Reference 2.2 (3) for on-street parking requirements
² Reference 2.2 (4) for bicycle facility types and requirements

Table 2.6 (1). Neighborhood Street Requirements.

*How will our city streets be plowed?
 Is this a new way ~~city~~ city will be fining residents in the winter and generating more revenue for the city?*

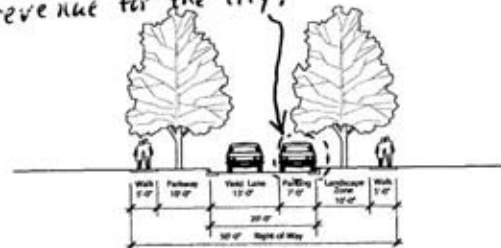


Figure 2.6 (2) Alternative 50' Right-of-Way Neighborhood Street.






2.0 Street Types

3.0 Subdistricts

Where we are now (I think). Have not seen an official plan from the city for all residents to review.



Table 3.1 (1). Zoning Map

-  Town Center "Core"
-  Town Center "General"
-  Riverdale Road "General"
-  40th Street "General"
-  Edge

Uses	Town Center "Core"	Town Center "General"	Riverdale Road "General"	40th Street "General"	Edge
Residential & Lodging					
Residential	●	●	●	●	●
Hotel & Inn	●	●	●	●	⓪
Residential Care	●	●	●	●	⓪
Civic					
Assembly	●	●	●	●	⓪
Transit Station	●	●	●	●	⓪
Hospital & Clinic	●	●	●	●	
Library/Museum/Post Office (no distribution)	●	●	●	●	○
Police & Fire	○	○	○	○	
School	●	●	●	●	●
Retail					
Neighborhood Retail	●	●	●	●	
General Retail	○	○	●	○	
Outdoor Sales Lot			○		
Service					
Neighborhood Service	●	●	●	●	
General Service		○	○		
Vehicle Service	○	○	○		
Office & Industrial					
Office	●	●	●	●	⓪
Craftsman Industrial	⓪	⓪	●		
Infrastructure					
Parking Lot	⓪	⓪	⓪	⓪	
Parking Structure	⓪	⓪	⓪	⓪	
Utility & Infrastructure	○	○	○	○	
Open Space	⓪	⓪	⓪	⓪	⓪
Accessory Uses					
Home Occupation	●	●	●	●	●
Outdoor Storage of Goods	⓪	⓪	⓪		
Parking Lot	●	●	●	●	
Parking Structure	⓪	⓪	⓪	⓪	

← Who came up w/ definitions?

← (Same as above)

KEY
 ● Permitted
 ● Permitted in Upper Stories Only
 ⓪ Permitted with Development Standards
 ○ Requires a Conditional Use Permit

Table 4.1 (1). Uses by District.

4.0 Uses

★ Do highlighted stores below belong in a "Neighborhood" Anywhere? 27.

I would say NO! If it means all or none, I recommend none.
 Many People bought their homes in residential neighborhoods, not by stores.

located in the side or rear yards, screened from the front lot line.

- c. Temporary outdoor display of seasonal items, such as windshield wiper fluid or salt, is permitted during business hours under the canopy and adjacent to the principal structure.

Neighborhood Retail

- ★ Alcohol & Liquor Sales
- Antique Shop
- Apparel & Accessory Store
- Art & Education Supplies
- Bakery, Retail
- Bicycle Sales & Repair
- Book, Magazine, & Newspaper Store
- Building Materials, Hardware, and Garden Supply
- Camera & Photo Supply Store
- China & Glassware Shop
- Convenience Store
- Drug Store/Pharmacy
- Fabric & Craft Store
- Florist
- Gift, Novelty, & Souvenir Shop
- Grocery Store
- Hardware Store
- Hobby Shop
- Jewelry Sales & Repair
- Luggage & Leather Goods
- Music Store
- Musical Instrument Repair & Sales
- Office Supply
- Optical Goods
- Paint & Wallpaper
- Party Supply Shop
- ★ Pawn Shop
- Pet & Pet Supply
- ★ Smoke Shop
- Specialty Food Market (Butcher, Candy, Fish Market, Produce, etc.)
- Sporting Goods Sales & Rental
- Stationery & Paper Store
- Toy Shop
- Video/Game Sales & Rental
- ★ Wine & Liquor Shop

General Retail

- All Neighborhood Retail
- Appliance & Electronic Sales & Service
- Automotive Supply (no service)
- Computer Software Sales & Leasing
- Department Store
- Gun Shop
- Home Furnishings & Accessories Sales & Rentals
- Medical Supply Store & Rental
- Motorcycle & Motor Scooter Sales
- Heating, Air Conditioning & Plumbing Supplies, Sales, & Service
- Cabinet Supply (display only)
- Machine Sales and Rental
- Agriculture Equipment and Supply
- Electrical Supplies
- Merchandise Vending Machine Operators
- Medical Supply Store & Sales

Neighborhood Service

- Arcade
- Bank or other Financial Service
- Barber Shop, Beauty Salon, & Spa
- Billiard Hall
- Catering
- Check Cashing
- Day Care, Adult or Child
- Dry Cleaning & Laundry
- Emergency Care Clinic
- Fitness, Dance Studio, & Gym
- Framing
- Home Furniture & Equipment
- Repair
- Locksmith
- Mailing Services
- ★ Microbrewery
- Pet Grooming
- Photocopying & Printing
- Photography Studio & Supplies (on-site processing permitted)
- Restaurants (refer to state law for alcoholic beverage requests)
- Shoe Repair
- Tailor & Seamstress
- Tanning Salon
- ★ Tattoo/Piercing Parlor
- Theater
- Training Center
- Travel Agency & Tour Operator
- Veterinarian

General Service

- All Neighborhood Services
- Animal Boarding (interior only)
- Aquatic Facilities
- Batting Cages
- Bowling Alley
- Concert Hall
- Exterminating & Disinfecting Service
- Funeral Home
- Miniature Golf Course
- Recreation, Commercial Indoor
- Repair of Small Goods & Electronics
- Shooting & Archery Ranges (indoor only)
- Skating Rink
- ★ Tattoo/Piercing Parlor

Table 4.2 (2). Typical Service Uses.

Office

- Architecture/Engineering/Design
- Building Contractor (office only)
- Business Consulting
- Charitable Institutions
- Computer Programming & Support
- Detective Services
- Educational Services (tutor & testing)
- Employment Agency
- Financial & Insurance
- Government Offices
- Legal Services
- Management Services
- Physical Therapy/Physical Rehabilitation
- Medical & Dental with Laboratory
- PR & Advertising
- Property Development
- Radio & TV Studio
- Real Estate
- Recording & Sound Studio
- Research & Development
- Research Agency
- Surveying

Table 4.2 (3). Typical Office Uses.

Table 4.2 (1). Typical Retail Uses.

See 36TH Street market on 30TH street.
 Do residents really want alcohol sold where residents live? How attractive is this business?

5.0 Building Types ← These look cold & uninviting

5.8. Civic Building

1. Description & Intent

The Civic Building is the most flexible Building Type intended only for civic and institutional types of uses. These buildings are distinctive within the urban fabric created by the other Building Types and could be designed as iconic structures. In contrast to most of the other Building Types, a minimum setback line is required instead of a build to zone, though this setback is required to be landscaped. Parking is limited to the rear in most cases.

The minimum and maximum heights of this Building Type depend on the subdistrict within which it is located.

2. Regulations

Regulations for the Civic Building type are defined in the adjacent table.



Notes

¹ Lots wider than 140 feet are permitted one double-loaded aisle of parking (maximum width of 72 feet), located perpendicular to the front property line, which is exempt from front property line coverage.

² If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

Permitted Subdistricts

	City Center "Core"	City Center "General"	Riverdale Road "General"	40th Street General	Edge
(1) Building Siting Refer to Figure 5.8 (1).					
Multiple Principal Buildings			permitted		
Front Sidewalk Coverage			not required		
Occupation of Corner			not required		
B Front Setback	5'	10'	10'	10'	5'
C Corner Setback	0'	5'	5'	5'	5'
D Minimum Side Yard Setback	5'	5'	5'	5'	5'
E Minimum Rear Yard Setback	5'	5'	5'	5'	5'
F Minimum Lot Width	50'	50'	50'	50'	50'
G Maximum Lot Width	none	none	none	none	none
H Parking & Loading	rear	rear	rear & interior side yard ¹	rear & interior side yard ¹	rear & interior side yard ¹
I Vehicular Access	From alley; if no alley exists, 1 driveway per street frontage				
(2) Height Refer to Figure 5.8 (2).					
J Minimum Overall Height	1 story	1 story	1 story	1 story	1 story
K Maximum Overall Height	5 stories	5 stories	5 stories	3 stories	2 stories
L All Stories: Minimum Height	9'	9'	9'	9'	9'
M Maximum Height	20' ²	20' ²	20' ²	20' ²	20' ²
(3) Uses Refer to Figure 5.8 (2). Refer to 4.0 Uses for permitted uses.					
N All Stories	limited to civic & institutional uses only				
O Parking within Building	permitted fully in basement and in rear of upper floors				
P Required Occupied Space	30' deep on all full floors from the front facade				
(4) Street Facade Requirements Refer to Figure 5.8 (3).					
Q Minimum Transparency per each Story	10%				
Blank Wall Limitations	not required				
R Front Facade Permitted Entrance Type	arcade, stoop				
S Principal Entrance Location	front or corner facade	front or corner facade	front or corner facade	front or corner facade	front or corner facade
Required Number of Primary Street Entrances	1 per 100' of facade	1 per 150' of facade	1 per 150' of facade	1 per 150' of facade	1 per 150' of facade
Vertical Facade Divisions	not required				
Horizontal Facade Divisions	not required				
(5) Roof Type Requirements Refer to Figure 5.8 (3).					
T Permitted Roof Types	parapet, pitched, flat; other roof types are permitted by Conditional Use				
U Tower	permitted				

What if lane widening is required in 25 years? 20' maybe better.

10.0 Administration

29. A.
Why is someone who is not a South Ogden City Resident be in charge of either administration or enforcement?

10.1 General Provisions.

1. Purpose.

It is the intent of this code to promote public health, safety, and general welfare of the community, reflecting the goals established within the South Ogden City General Plan. It includes but is not limited to the specific purposes below.

- (1) To achieve mixed use development that is appropriate in scale and intensity for the neighborhoods and sites proximate to transit stops and stations.
- (2) To establish a relationship between buildings, streets, and open spaces that is pedestrian, bicycle, and transit-oriented.
- (3) To preserve and enhance the City's natural resources, energy, water, and open spaces and to promote innovative development that sustainably manages these issues, including stormwater runoff and mitigation the urban heat island effect.
- (4) To ensure that a variety of housing types and sizes can be developed to meet the needs of the entire community.
- (5) To promote a variety of transportation options for residents and visitors.

We don't need more red tape.

* Form Based Code conflicts with this.

Don't buy small or cheap or city may put commercial zone there.

2. Scope of Regulations.

- (1) New Development. All development, construction, and establishment of uses within the limits of this code occurring after the effective date of this code shall be subject to all applicable regulations of this code.
- (2) Renovated Structures. All building renovations affecting greater than 25% gross square footage of a structure within the limits of this code shall be subject to all applicable regulations of this code.
- (3) In-Process Development. Where a building permit for a development has been applied for in accordance with the prior law in advance of this code's effective date, said development may comply with the plans from which the permit was approved and, upon completion, receive a certificate of occupancy or zoning certificate (provided all conditions are met) provided the following.
 - (a) Work or construction is begun within one year of the effective date of this code.
 - (b) Work or construction continues diligently toward completion.
- (4) Nonconformance. After the effective date of this code, existing buildings and uses that do not comply with the regulations of this code shall be considered nonconforming and are subject to the standards of 10.4 Nonconformances.
- (5) All roads, alleys, parking lots, service areas and similar facilities proposed for development and not specifically designated as public shall be assumed to be privately owned. South Ogden City will not be responsible for constructing, managing, operating or maintaining any private roads, alleys, parking lots, service areas, utilities or infrastructure propose for inclusion in the districts controlled by this code.

3. Administration & Enforcement.

The provisions of this code shall be administered and enforced by the City manager or designee, unless otherwise specifically stated. For the purposes of this code, the term City Manager shall be inclusive of his or her designees.

Where provisions of this code differ from the City's Code, the requirements of this code shall apply.

4. Development Application.

Applications (form, fees, and plan sets) shall be filed with the City Manager or designee.

- (1) Application Form. Application forms are available from the City.
- (2) Fees. Fee amounts are available from the City and are due at the time the application is made; the application will be considered incomplete if fees are not paid.
- (3) Plan Set Requirements. Number of copies and minimum scale of drawings shall be noted on the application form. All plans shall be submitted in both a paper and an approved digital format using NAD1983 state plane coordinates.
- (4) Filing Deadline. Filing deadlines are established by the City and available at City location.
- (5) Withdrawal of Application. Applicant may withdraw application whole or in part at any point in the process prior to being acted or ruled upon; new application form, fees, and plan sets are required for reapplication.
- (6) Records on File. Applications and the resulting recommendations and rulings shall be kept on file by the City Manager or Designee and shall be considered public record.
- (7) Notice requirements for each process are detailed in the City code.

So on street parking is now allowed? does this make sense in winter?

5. Zoning Map

The areas and boundaries of the subdistricts listed in 3.0 are hereby established to scale as shown on the map entitled Zoning Map of the city and referred to herein as "Zoning Map".

6. Process

Any development within a subdistrict shall be administered in accordance with the procedures defined in 10.2. and Title 10 of the City Code.

- (1) The application shall include the following processes
 - (a) Pre-Application Meeting. Refer to 10.2.2.
 - (b) Site Plan Approval, including building, site, and streetscape. Refer to 10.2.5.

7. Staff Review Committee

The City Manager or Designee shall serve approve, deny, or approve with conditions all submittals for Regulating Plans and Site Plans within the Subdistricts upon review by a Staff Review Committee.

City Manager should be required to be a South Ogden City Resident. This gives too much power to someone none of us otherwise elected.

10.0 Administration

Much of this seems illegal to force on a home owner who currently owns or is purchasing their "American Dream".

29. B, why shouldn't residents living in any zone have the right to make their home better, where ever they live.

- dimensions. (refer to 9.0)
- (iv) Building Type Requirements within one foot of required dimensions. (refer to 5.0)
- (v) Additional exceptions may be granted based on a formal request in writing by the applicant, stating specific reasons why the request does not impact the overall intent of this section, and is essential for success of the development.

- (4) Application Process Time Line. An Application for Exception shall be submitted concurrently with the process seeking exception from, either Regulating Plan Approval or Site Plan Approval.
- (a) Staff Review Committee. The Staff Review Committee shall review and make recommendations on the application within the same time line as the applicable process, Regulating Plan or Site Plan approval.
 - (b) The City Manager or Designee shall render a decision to approve or disapprove the application within the same time line as the applicable process, Regulating Plan or Site Plan approval.

2. Variances

Refer to Title 10-4-6 (C) of the City Code for information on the variance process.

10.4. Nonconformances.

1. General Requirements.

- (1) Intent. To provide a set of regulations for legal nonconforming buildings and uses and to specify those circumstances and conditions under which those nonconformances shall be gradually eliminated.
- (2) Applicability. The standards in this section apply as follows.
 - (a) The provisions detailed in this section apply to all structures, uses, or site characteristics that lawfully existed prior to the adoption of or Amendment to this code, but that may not occur under the current provisions of this code Title 10-16.
 - (b) Structures, uses, and site characteristics that did not lawfully exist prior to the effective date or amendment to this code shall not be considered legal nonconformances and therefore are not protected under the provisions of this section.
- (3) Continuation. All nonconformances are permitted to continue subject to the restrictions outlined in this section.
- (4) Maintenance. All nonconformances shall be maintained as required by law to protect public health safety, and welfare, provided said maintenance does not result in the expansion of the nonconformity.

2. Nonconforming Structures.

- (1) Intent. To provide regulations for the continuation of a structure

- (2) Restrictions on Continuation. A nonconforming structure may continue based upon the following conditions.
 - (a) Alterations. The standards of this code shall apply to alterations under the following circumstances.
 - (i) Where the renovation includes an addition of more than 25 percent in gross building square footage, the building shall be brought into conformance.
 - (ii) When a renovation of the front facade occurs with no added building square footage, the street facade Requirements and Entrance Type Requirements (refer to 5.9) shall be met when the existing building front or corner facade is located within the build to zone and the renovation includes any one of the following:
 - i. Installation of additional doors or a change in location of a door.
 - ii. Expansion or change in location of 30% of windows on any street façade.
 - iii. Replacement of 30% or more of facade materials on any street facing facade with a different facade material.
 - (iii) When a renovation of the shape or style of the roof occurs with no added building square footage, the Roof Type Requirements (refer to 5.10) shall be met when the existing building front or corner facade is located within the build-to zone.
 - (b) Ordinary Repairs. Ordinary repairs required for safety and continued use of the structure, such as replacement of window or door glass; and interior alterations that do not affect the exterior of the building do not trigger conformance to this code.
 - (c) Impact on Nonconformity. No alteration or repair shall expand the existing or create a new nonconformity unless otherwise permitted by this section, 10.4.2 Nonconforming Structures.
 - (d) Damage or Destruction. A nonconforming structure may be repaired and its use continued if damaged by any means not within the control of the owner per the Utah Code.
 - (e) Abandonment. The right to utilize a nonconforming structure shall be terminated if the structure is not utilized or is abandoned for a period of 12 consecutive months.
 - (i) If the owner is actively seeking another tenant for the use or structure, the 12 month period may be extended up to an additional 12 months with permission of the City Council.
 - (ii) To obtain this extension, the owner must provide evidence of this activity, including solicitation, showing the site to potential tenants, and maintenance of utilities and other site facilities for reuse; simply listing the site as available real estate is not sufficient.

Why implemented on HOA like code on residences?

Doesn't seem legal. Violation of 4th Amendment Rights

citizen's right to be free from unreasonable government intrusion... Pomes - P...

I Agree for this wording for any current zone.

Funds should be available for elderly or ADA people

who can not maintain. Problem solved to a large degree by doing this,

Draft - January 2018

They then moved to the next item on the agenda.

B. Consideration of Resolution 13-30 – Approving the Canvass of Election

City Recorder Leesa Kapetanov pointed out a correction that needed to be made in the resolution concerning when the canvass needed to take place, and asked that the change be included in the motion. The resolution should read that the canvass be held no sooner than seven days after the election, but no later than fourteen days. She then reported the votes had been counted, including all the provisional and absentee ballots, and she felt the count had been fair and accurate. She recommended the council approve the canvass of the election. Mayor Pro Tem Smith called for a motion concerning Resolution 13-30.

Council Member Orr moved to approve Resolution 13-30, with the revisions that had been mentioned. Council Member Strate seconded the motion. Mayor Pro Tem Smith asked if there were further discussion, and seeing none, he called the vote:

Council Member Orr-	Yes
Council Member Strate-	Yes
Council Member Benard-	Yes
Council Member Porter-	Yes
Council Member Smith-	Yes

The canvass of election was approved.

C. Discussion on Bike/Alternative Transportation Plan

City Planner Mark Vlastic presented the Bike Transportation Plan, reviewing the different types of bike lanes allowed according to the width of the street. He reported the planning commission had suggested some additions to the plan, including a crossing at 4400 South and Washington Boulevard to coincide with the school crossing located there. He also pointed out staff had looked at other bike routes in surrounding communities to make sure our bike routes linked up with theirs. Council Member Orr suggested that the route going down 5600 South link up with Chambers Street. Council Member Benard also asked that the bike route connect with the Junior High. He also asked if some of the yellow paths should be connected for more consistency; he pointed the areas out on the map. Mr. Vlastic said he would study the suggestions to see if they would work and add them to the map.

D. Presentation of 40th Street Concept Drawings

City Planner Vlastic presented the concept drawings (see Attachment A), explaining they were the result of the council's direction from a previous work session. City Manager Dixon informed the council that since the packet had been sent out, several departments had written reports concerning the proposed median and how it affected safety. The reports had been added to the packet and the council could view them on their monitors.

Mr. Vlastic pointed out the different features of each concept. He said UDOT had reviewed the concept drawings. They felt the median with minimized access points was a positive attribute, as it affected traffic flow less. Mr. Vlastic knew that a raised median offered challenges for things like snow removal and emergency vehicle access, but he felt there was plenty of time to address the issues and determine exactly what the city needed and wanted for 40th Street. The concept drawings would put the city at an advantage when actual engineering for the street began.

*UDOT,
Were they
shown the
parallel
parking
scenario?
A traffic
congestion
nightmare
for 2 Lane (Single).*

I agree w/ → *
what Council Member
Porter stated.

The council asked several questions concerning the median. The point was brought out that the median would exist no matter what, however, whether it was simply painted on the road or raised was what needed to be determined. Council Member Porter said he was concerned with how the median would affect access to future businesses on the road, as well as how it would affect the emergency vehicles that traveled to McKay-Dee Hospital. City Manager Dixon reminded the council of an economic study done by Zion's Bank for 40th Street which determined that the presence of a median increased pedestrian traffic and had a positive economic effect on businesses. Mr. Dixon asked the council what they would like staff to do next; would they like staff to hold off until funding for the project became available, or was there some additional work staff should be doing. The council discussed the matter and determined that staff should begin to address the problems brought up by the different departments concerning a raised median and how best to address them. City Planner Vlasic suggested that a traffic engineer look the concept drawings and give a review.

← This person is not a resident of South Ogden and does not have to commute regularly, along 40th street. Planners say, "Design follows form which follows function." Road on 40th must stay functional.

VI. DEPARTMENT DIRECTOR REPORTS

A. Parks and Public Works Director Jon Andersen-Project Updates

Mr. Andersen reported all road projects had been completed. He also said the Doren Drive Water Project was 90% done, but construction had been stopped because of the weather. The remainder would be completed in the spring. Mr. Andersen reported the Public Works Rodeo had been a success and thanked the council for allowing them to kick off the winter season with the rodeo.

B. Police Chief Darin Parke – Code Enforcement Quarterly Report

Chief Parke began his report by saying it covered the period from July through September. In that time 130 cases had been generated; 101 by patrol and 29 by the code enforcement officer. Twenty seven of the cases had been parking issues which were corrected almost immediately; the rest were weed and junk issues. The quarter ended with 17 cases still open. Mayor Pro Tem Smith asked about some specific cases and if they were being addressed, then moved to the next item on the agenda.

C. Deputy Fire Chief Rick Rasmussen – NIMS Training

Mr. Rasmussen encouraged those who still needed to get their NIMS 100 and 700 training to complete it by the end of the year. He informed the council they could log on to FEMA's website and determine what training they had already completed.

D. Mark Vlasic – Update on Planning Commission Projects

Mr. Vlasic reported on what the planning commission had been working on the last few months, including the bike transportation plan and the 40th Street Project. He also reported there had been a major increase in applications to the planning commission. The commission had been working on a mixed use ordinance as well, and was in the process of creating a first draft. They had also looked at the landscape ordinance and were making changes to make it more water wise. Projects for the 2014 year included an update to the land use master plan drawing, a walkability audit, changes to the sign ordinance to make it more clear, and an update to the uses in the commercial zones to reflect present uses. Council Member Orr commented on the move to form based zoning, and asked if South Ogden should look into it. Mr. Vlasic said the city was 95% built out, and to redo the

1. After compliance with the provisions of section 11-2-1 of this chapter, the subdivider shall submit a final plat with the current required number of copies thereof to the planning commission. Such plat shall be accompanied by a "letter of certification" by the subdivider's engineer and/or surveyor, indicating that all lots meet the requirements of the zoning title.
2. The final plat and accompanying information shall be submitted to the planning commission at least ten (10) days prior to a regularly scheduled planning commission meeting to be considered at the meeting.

C. Final Plat Requirements:

The final plat shall be clear and legible, and drawn according to professional engineering standards. Size of drawing shall be twenty four inches by thirty six inches (24" x 36") with one-half inch (1/2") border on top, bottom and right sides, left side border shall be one and one-half inches (1 1/2".)

The plat shall be so drawn that the top of the sheet faces either north or east, whichever accommodates the drawing best. The plat shall be made to a scale large enough to clearly show all details, in any case not smaller than one hundred feet to the inch (1" = 100'), and the workmanship on the finished drawing shall be neat, clean cut and legible. The plat shall be signed by all parties mentioned in subsection C7 of this section, duly authorized and required to sign, and shall contain the following information:

1. The subdivision name, and the general location of the subdivision, in bold letters at the top of the sheet.
2. Where a subdivision complies with the cluster subdivision provisions of the zoning title and this chapter, the final plat shall indicate underneath the subdivision name, the words "cluster subdivision".
3. A north arrow and scale of the drawing, and the current date.
4. Accurately drawn boundaries, showing the proper bearings and dimensions of all boundary lines of the subdivision. These lines should be slightly heavier than street and lot lines.
5. The names, widths, lengths, bearings and curve data on center lines of proposed streets, alleys and easements; also the boundaries bearing and dimensions of all portions within the subdivision as intended to be dedicated to the use of the public; the lines, dimensions bearings and numbers of all lots, address of lots within the subdivision. All lots are to be numbered consecutively under a definite system approved by the planning commission. The street naming/numbering and lot addressing shall be provided by the city engineer and written on the plat by the subdivider's engineer and/or surveyor.
6. Parcels of land to be dedicated as public park, storm water detention basins or to be permanently reserved for private common open space shall be included in the lot numbering system and shall also be titled "public park" or "private common open space", whichever applies.
7. The standard forms approved by the planning commission for all subdivision plats lettered for the following:
 - a. Description of land to be included in subdivision, with total acres.
 - b. Land surveyor's certificate of survey.
 - c. Owner's dedication certificate.
 - d. Notary public's acknowledgement.
 - e. Planning commission's certificate of approval.
 - f. City engineer's certificate of approval.
 - g. City attorney's certificate of approval.
 - h.

8. A three inch by three inch (3" x 3") space in the lower right-hand corner of the drawing for recording information.

*Are we no longer a democracy?
No say by citizens if
form based code approved.*

I don't agree with this! Planning Commissioners and City Manager are all appointed by the mayor. They are the only citizen elected officials to weigh in on citizen's development affecting residents. If city council does not want to do their jobs consider stepping down.

CITY: South Ogden City, Utah.

CITY COUNCIL: City Council of South Ogden City, Utah.

CITY ENGINEER: Any registered civil engineer appointed by the accomplish the objectives of this title; provided, that no such person may serve the city and a subdivider in the city simultaneously where the engineer would have to check his own work or the work of a member of his firm regarding any subdivision in the city.

Would like to see a Resident choose citizens care more about their community than a non-citizen,

EASEMENT: That portion of a lot or lots reserved, granted or arising in behalf of and for the present or future use by a person or agency other than the legal owner or owners of the property or properties. The easement may be for use under, use on, or use above the lot or lots.

LOT: A parcel of land comprising a unit within a subdivision or a unit of land for building development or transfer of ownership, with such yards, open spaces, lot width and area as required by the zoning title of South Ogden City having frontage upon street or upon right of way approved by the planning commission and/or the board of adjustment.

LOT COMBINATION: The altering of a subdivision plat by joining two (2) or more of an owner's contiguous, residential lots into one lot.

LOT RIGHT OF WAY: An easement of not less than sixteen feet (16') wide reserved by the lot owners as private access to serve the lots through which it passes.

MASTER STREET PLAN: A plan, labeled "master street plan of the city of South Ogden", approved by the city council upon recommendation of the planning commission.

OFFICIAL MAP: A map adopted by the city council under Utah Code - § 10-9a-407 as may, from time to time be amended.

PARCEL OF LAND: A contiguous quantity of land, in the possession of, or owned by, or recorded as the property of the same claimant or person.

PLAT VACATION: The elimination of a plat, in whole or in part, which vacation may apply to subdivided lots, roads, alleys, easements, and other areas depicted or dedicated on the plat.

PERSON: Any individual, corporation, partnership, firm or association of individuals however styled or designated.

PLANNING COMMISSION: The South Ogden City planning commission.

PROPERTY LINE ADJUSTMENT: The adjustment of a mutual boundary line between the owners of adjacent parcels described by either a metes and bounds description or as a lot within a recorded plat.

PROTECTION STRIP: A strip of land running parallel and adjacent to a public street and the abutting private property, created to control the access of property owners abutting the street.

STREET: A thoroughfare dedicated to the public and accepted by proper public authority, or a thoroughfare of standard width which has become a public thoroughfare by right of use and which affords the principal access to the abutting property.

- Bus & Bike Traffic is rarely used in our city.

What % of citizens use public transportation in South Ogden?

What interest is there for expanded public transportation?

4-6 people on a bus is not economically or environmentally friendly. Have city council & planning commissioners try to live 1 week without a car and see how unfriendly public transportation is currently. UTA has been around for 30 years or more. It just hasn't caught on in our snowy cold climate where pretty much anyone can buy a car.

- The new "Form^{Based} Code" only gives the mayor appointed planning commissioners say and they and residents really have no say in that many various commercial uses are allowed, which have not been allowed historically in residential zones. If this is considered to be "old fashioned" thinking on my part, than I declare myself to be old fashioned, City Council would no longer have say in subdivision approval either - (Bad Idea)
- Would any city council member or planning commissioner vote for this if they were living along 40th Street? Would it work in your neighbor hoods? Tearing down old homes, displacing the elderly etc for the sole sake of generating commercial revenue? So \$ money is more important to city than having good neighbors? Please show this is not so, by voting "Nay"

Engineered Traffic Study

35.

I have yet to see any engineered traffic study done stating what the existing level of service is for 40th street.

What is the added delay time should on street parking be allowed? Where does a resident access this information?

On the shallow, narrow proposed stalls it will cause a lot of traffic delay while someone tries to park. What about plowing snow in winter months?

★ How many current primary residents will be required to relocate and when will they be notified of this?

At minimum a preliminary study should be completed.

She then informed the council of a Safe Kids Road Respect Rally on Saturday, at the Ogden Amphitheater from twelve noon to two p.m.

Council Member Porter – asked staff to make sure an explanation was put on the bill concerning the sewer rate increase so residents would be informed. He then confirmed that the next council meeting would be held at the bowery at Friendship Park.

He then asked if the weeds along Highway 89 and Washington Boulevard were anything the city could do something about. Parks and Public Works Director Andersen said those streets were the state’s jurisdiction and the city could not do anything about them.

Council Member Porter then said he had been coaching his son’s rec baseball team, and complimented staff on how well things had been going.

Council Member Smith – was concerned with the rates the city charges for use of the gym facility; Bonneville’s basketball team wanted to use it for a fundraiser, but the cost was too high. He would like the city to look into the rates to make sure they were affordable.

He then asked the proper way to get a traffic study done for signage in a certain area. Should he go through Val or Matt? The mayor informed him he should go through Matt.

Council Member Smith then concluded by asking if the city could look into getting an island placed in the middle of Washington Boulevard between 36th and 40th Streets; he wondered if it could happen in time to do it in conjunction with the repaving coming up in September. He thought it would slow traffic down and beautify the area. The council then discussed what they knew about the process of talking to UDOT and how to proceed.

Council Member Strate – commented the city needed to make sure that in the process of widening of 40th Street, it also looked at enhancing and beautifying the street, not just widening it.

He also had a request for a traffic study and would get with Matt to look into it. Council Member Strate then concluded with an issue concerning a resident who had been charged for an extra garbage can unknowingly. Council Member Strate also asked if itemizing the bill would let residents know what they are being charged for. He then asked what the policy was in refunding the resident. Mr. Bradshaw said three years was typically what could be done.

Council Member Benard – liked the idea of doing a council meeting at Friendship Park during South Ogden Days, but thought it should be added to the South Ogden Days published schedule.

He then asked if staff had reported on the market study done on salaries. Mr. Bradshaw informed him that the study would be forthcoming and they would receive it before the next council meeting. Council Member Benard said he had concerns that some of the raises and benefits being offered were above market.

- C. **City Manager** – not present.
- D. **City Attorney Ken Bradshaw** – nothing to report.

Mayor Minster then called for a motion to adjourn city council meeting.

← I agree
Add fees.
← Can citizens
look at the
traffic study?
Why not posted
proudly online
under 40th
street
improvements
instead of
being scattered
and hidden
away?

An Earlier Plan for Your (R-2 Residents)
 Planned Demolition because someone didn't like
 how your homes looked, in most
 R-2 Zones,

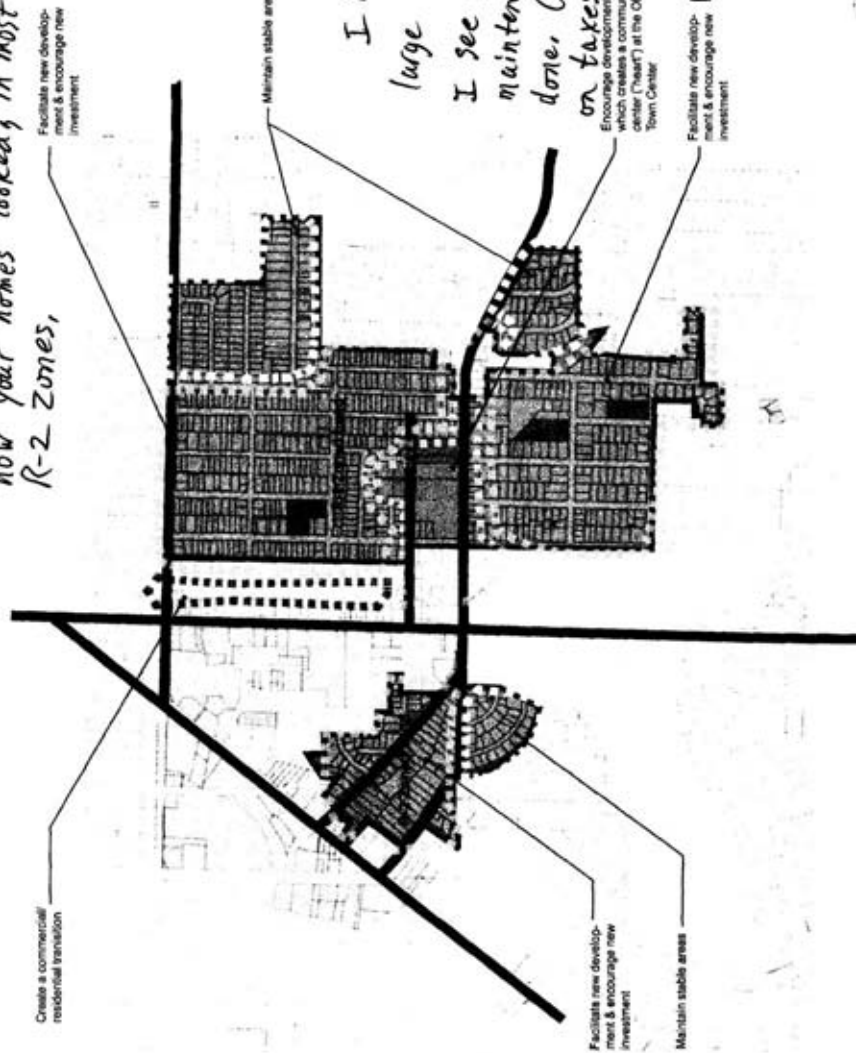


Figure 2-3
 Downtown Area

Which Parts of
 the city to
 Condem /destroy
 & How This Started

I had no idea such a
 large area was being considered.
 I see now why no roadway
 maintenance & redoing roads was
 done. Can residents get refunds
 on taxes paid which should cover
 city road repair & maintenance
 which has not been performed?

South Ogden City
 General Plan Update



January 2008



Why was so much of R-2 Zoned Houses targeted
 by South Ogden City for new development? What about
 Historic Preservation? The "OLD" TOWN is where my grand mother
 and John Anderson (Current Public Works Director) grew up.

37

Downtown/Neighborhood Specific Issues

- o Downtown area is in need of cleaning up and redevelopment
- o Redevelopment should transform large parking lots into a city center which is green, attractive, and has architectural distinction
- o Downtown should be distinct from Ogden
- o Desire for commercial area downtown which is pedestrian-friendly and appealing
- o Need to slow traffic and increase pedestrian safety across Washington Blvd in the downtown area
- o Need to encourage home improvements, property upkeep, and architectural continuity
- o Need to encourage home ownership
- o Need zoning which preserves existing desirable characteristics of downtown residential area and encourages sensitive, appropriate redevelopment and subdivision of property

Land Use and Neighborhood Design Analysis

Based on the results from the July 2007 community survey, residents of South Ogden are clearly satisfied with their city. This is due to a number of factors including location, their feeling of safety, and the small-town feel of the neighborhood. (For details, see the survey responses in the appendix.) It is also apparent that issues and concerns will continue to arise as growth and development continue to influence the region. *So why change things now so drastically?*

The following analysis identifies current needs and improvements which need attention in order to maintain the level of satisfaction in the midst of change. *(How does someone jump to this conclusion?)*

Where has citizens input regarding been asked? Bare min. website & newspaper postings is not what residents want.

Development and redevelopment in established areas will need to be undertaken creatively and carefully in order to maintain the integrity and feeling of safety within existing neighborhoods. Zoning ordinances and development approval processes should incorporate design guidelines which ensure sensitivity to existing, stable neighborhoods.

Established development patterns should be extended to adjacent vacant sites where they exist. Areas which are actively being developed within the southern portion of the City should be appropriately constructed in response to adjacent uses and applicable ordinances and building codes.

South Ogden is a city of neighborhoods; many of which are often geographically isolated from other parts of the city by such physical features as roads, streams, steep slopes, and buildings. Existing neighborhoods should be strengthened by physically connecting residents to their neighborhood and to nearby destinations. They should be woven to each other and back into the community fabric. This can be achieved in part by providing a system of urban street trails for safe and walkable movement through neighborhoods and eventually across major roads which dissect the city.

There is a perceived lack of community gathering places which can support and functions, events and programs and otherwise contribute to the overall cohesion of community. Because South Ogden has limited access to large parcels of vacant land, opportunities to build facilities—both buildings and outdoor public spaces—which can support community and city-sponsored

Policy 1: Cooperate with adjacent communities to plan for commercial and office development along key transportation corridors. Capitalize on major employment centers in the area, such as Weber State University, McKay Dee Hospital, and Hill Field.

Goal 2: Redevelop areas which are economically depressed, blighted or incompatible with surrounding land uses

↳ who came up with this?

Objective 1: Eliminate blighted and unsightly areas within the City, while encouraging appropriate economic growth of these areas. Beauty is in the eye of the beholder. Some people in R-2 Zone are elderly or are buying homes previously owned by elderly who may not have the physical or financial means to keep their property up.

Policy 1: The City will carefully study and provide appropriate assistance to areas in need of redevelopment or economic development assistance.

Policy 2: The City will consider appropriate incentives, tax abatement and other assistance as needed in order to attract the highest level of development.

I say let be who has never had kids, a physical or health problem/depression throw the 1st stone. Policy 3: The City will encourage redevelopment of the west Side of Washington Blvd., between 4000 South and 3600 South, potentially as a lifestyle center. ↳ what is this?

* Policy 4: The City will promote redevelopment around City Hall, including neighborhood-scale retail development. ↳ Do the local residents who live around the city want this? If not, who is the bad neighbor or bully?

Policy 5: The City will focus redevelopment efforts on Washington Blvd., between 3600 South and 4000 South to improve the appearance and economic vitality of this important gateway to South Ogden.

Goal 3: Establish an area of the City that will serve as the city center (Higher than any other city in comparison) ↳ 11% of City revenue came from enforcement fines

Objective 1: Provide South Ogden City with an area that feels like the "heart of the community."

Policy 1: Promote the development of a smaller-scale, walkable city center near City Hall. ↳ Is South Ogden funding its stuff and

Policy 2: Encourage the development of infrastructure that will create a connection between the east and west sides of Washington Blvd. ↳ Sounds Good!

Goal 4: Promote the welfare of South Ogden City residents by providing convenient access to neighborhood goods and services, as well as facilitating home-based business opportunities where appropriate. ↳ Please focus your energies here and not on tearing up R-2 Homes!

Objective 1: Encourage small-scale neighborhood retail development in both the north and south portions of the City.

↳ If City Council & their neighbors want

Socio-Economic Analysis

Form Based Code allow with the condition that it will be forever all baned from R-2 Zones and let citizens vote on otherwise changing. ↳ No thank you.

We are taxed at a higher rate than other cities. Maybe if residents were ^{40.} taxed less, they would have more dollars to fix up/maintain homes & yards.

South Ogden City General Plan Update

Table 3-2

Comparison of Revenues as Percent of Total Revenues, Part I

REVENUES AS PERCENT OF TOTAL REVENUES
General Fund Budgets, 2007
Part I Comparison

	South Ogden	Tooele	Bountiful	North Ogden	Pleasant Grove	Lehi	Springville
Property tax	24% #1	19%	18%	22%	16%	17%	15%
Sales tax	30%	37%	22%	26%	23%	13%	30%
Other taxes	16%	17%	32% #2	17%	13%	11%	21%
Licenses and permits not including bldg permits	2%	1%	2%	1%	0%	16%	1%
Building permits	3%	3%	5%	4%	5%	17%	5%
Intergovernmental revenue	7%	12%	11%	9%	1%	4%	9%
Charges for services	3%	9%	6%	14%	36%	14%	11%
Fines and forfeitures	12%	1%	1%	3%	4%	6%	4%
Miscellaneous revenue	4%	1%	4%	4%	1%	4%	4%
TOTAL	100%	100%	100%	100%	100%	100%	100%

Bountiful is a nice city with lower taxes what are other taxes our city doesn't generate revenue?

Our city is built out, so makes sense this would be low. The PRUD on 407th street has not been very successful.

What can city workers add? Can't city charge more here?

Does our city "Glean" revenue by fining citizens? It seems like enforcement for fines and forfeitures is substantially higher than other cities.

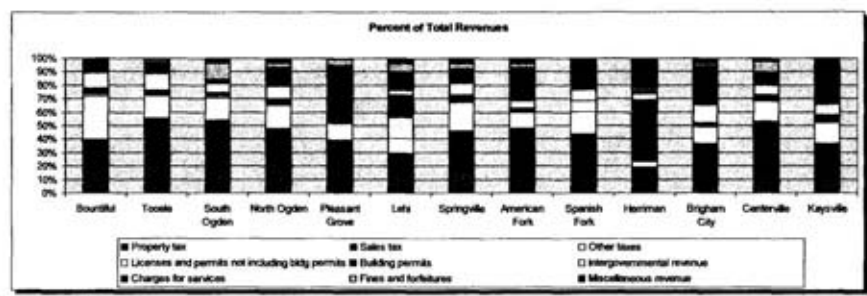
Table 3-3

Comparison of Revenues as Percent of Total Revenues, Part II

REVENUES AS PERCENT OF TOTAL REVENUES
General Fund Budgets, 2007
Part II Comparison

	South Ogden	American Fork	Spanish Fork	Herriman	Brigham City	Centerville	Kaysville
Property tax	24%	15%	12%	13%	5%	13%	9%
Sales tax	30%	33%	32%	6%	31%	40%	27%
Other taxes	16%	12%	17%	4%	12%	15%	16%
Licenses and permits not including bldg permits	2%	0%	8%	0%	1%	1%	1%
Building permits	3%	2%	0%	46%	3%	3%	5%
Intergovernmental revenue	7%	6%	8%	5%	13%	8%	8%
Charges for services	3%	25%	20%	3%	29%	10%	14%
Fines and forfeitures	12%	3%	0%	1%	2%	7%	1%
Miscellaneous revenue	4%	4%	3%	22%	4%	3%	20%
TOTAL	100%	100%	100%	100%	100%	100%	100%

Figure 3-4
Percent of Total Revenues



Property Tax

As shown in Table 3-4, South Ogden City has one of the highest tax rates in Weber County, surpassed only by Washington Terrace and Ogden City. Based on the City's municipal services rate, for every \$100,000 of market value on a primary residence, a homeowner would pay \$155³ to South Ogden City annually. For every \$100,000 of commercial value, a property owner would pay \$283.⁴ In comparison, for \$100,000 of commercial value, a property owner in the neighboring cities of Ogden would pay \$391; in Washington Terrace would pay \$320; and in Riverdale would pay \$113. While South Ogden's rate is higher-than-average, two of its neighboring cities also have relatively high rates, thus mitigating some of the loss of competitiveness that could occur with other areas of the County.

Table 3-4
Property Tax Rates for Cities in Weber County

PROPERTY TAX RATES	
Farr West	0.00028
Hooper City	0.000366
Plain City	0.000519
Uintah	0.000757
Huntsville	0.001066
Riverdale	0.001131
Harrisville	0.001548
Pleasant View	0.002189
North Ogden	0.002435
Roy	0.002451
South Ogden	0.002825
Washington Terrace	0.003203
Ogden	0.003905

Source: Utah State Tax Commission

← This shows an even higher property tax of 2.8% (This is not same figure as sheet 3-9 is showing what % of city revenue comes from property tax = 2.4%)

³ Calculated as follows: \$100,000 x 0.55 (primary residential exemption) x .002825 = \$155.
⁴ Calculated as follows: \$100,000 x .002825 = \$283.

What does the part of the pledge of allegiance, "... One Nation under God indivisible w/ liberty and justice for all" mean?^{42.}

South Ogden City General Plan Update

Who came up with this? This is discrimination. And Prejudice.

Goal 2: Redevelopment of areas which are economically depressed, blighted or incompatible with surrounding land uses.

What happened to, "Give me your tired, your poor, your huddled masses yearning to breathe free, the wretched refuse of your teeming shore. Send these, the homeless, tempest-tossed, to me; I lift my lamp beside the golden door?"
 Existing Redevelopment Areas Figure 3-5 shows South Ogden City's four RDA areas. The Northwest Area RDA, shown in green, is the largest in geographic size (69.15 acres), and contains several large businesses, including Costco, Walgreens and Big 5 Sporting Goods. There are a few vacant parcels in this RDA, located north of Big 5 and on the corner of S. Riverdale Road and 37th Street. The Northwest Area RDA was created in September 2003 and will extend through 2016 -- a 13-year timeframe.

The 36th Street RDA, shown in blue, is much smaller (12.88 acres) and has only one major retailer -- Macey's. This RDA was formed in November 2002 and is scheduled to extend through 2021.

Figure 3-5 South Ogden RDA Areas



Hard to Read →

The Washington Blvd. RDA Area, shown in purple and located at the northern end of the City along Washington Blvd, is the smallest in geographic size (5 acres). Albertson's is its major tenant. This RDA was established in December 1982 and will terminate in 2008. A more detailed map of these three areas is provided in Figure 3-6.

The last RDA area shown below is the Hinckley RDA area which was established in February 2001 and is scheduled through 2016. Although this area does not have any major tenants, Albertson's is located immediately adjacent to the south. This RDA covers 7.03 acres. Figure 3-7 provides a more detail map of this area.

One of my neighbors was a single mom w/ one adopted daughter. She had other personal issues and challenges, but did as best she could considering.

... that belonged to my grandmother. Some of us have deep family roots which extend through generations. I tried to follow council from church (3-11) affordable home and to live within our means.

Socio-Economic Analysis

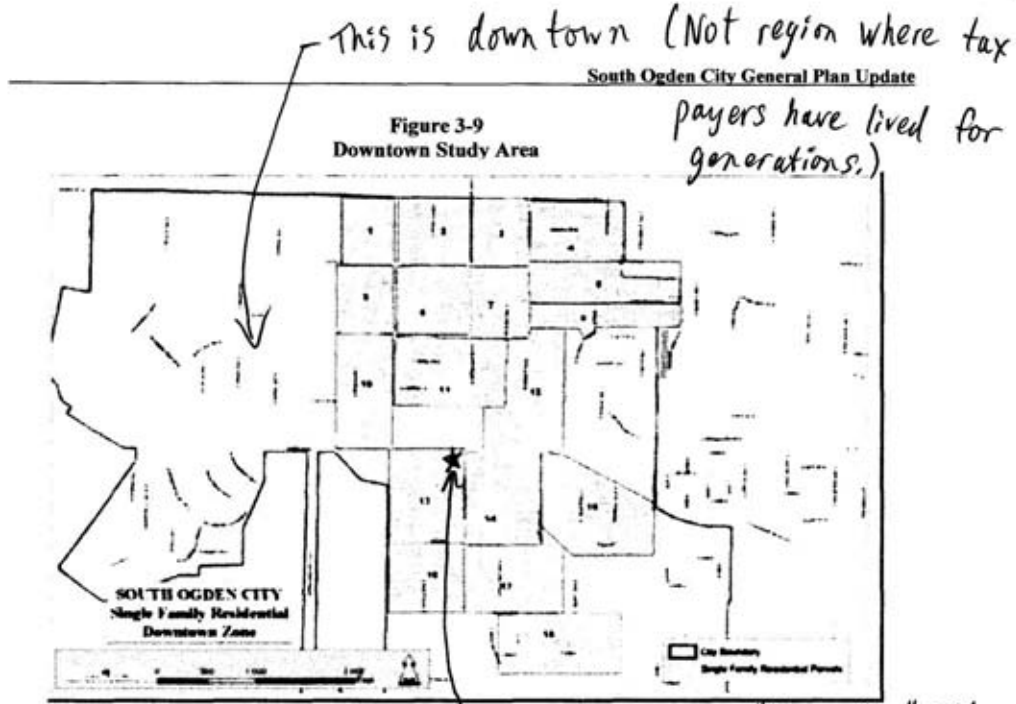


Table 3-7
Downtown Study Area Analysis
A wise Indian named "Running Bear" said "You don't know what you don't know." It is wise Indian wisdom.

Block	Ave Lot Size in Acres	Ave Value	Ave Year Built
1	0.18	\$93,638	1924
2	0.20	\$99,742	1936
3	0.20	\$101,726	1941
4	0.18	\$108,715	1950
5	0.20	\$105,909	1935
6	0.21	\$98,633	1940
7	0.23	\$98,718	1942
8	0.26	\$118,350	1949
9	0.23	\$123,939	1948
10	0.17	\$101,782	1934
11	0.14	\$101,408	1950
12	0.22	\$111,973	1950
13	0.23	\$117,423	1950
14	0.33	\$116,729	1955
15	0.23	\$117,626	1952
16	0.21	\$114,296	1953
17	0.27	\$128,912	1956
18	0.22	\$121,600	1962

(See Star) Mr. Burgess is without use of his

Where South Ogden City Began "OLD TOWN" Historic District

legs (ADA) and an older gentleman. He may be a Veteran as well (I don't know this though)

Kevin Bacon - Foot loose "and the danced"

Please See Matthew 23:14 for a "Woe..." regarding taking over elderly folks homes.

Source: Weber County Assessor's Office; LYRB

Socio-Economic Analysis

How would anyone feel if when they get old someone comes along saying your home is "incompatible"? Many of us in R-2 Zones voted for who we thought upheld conservative values - (Not radical redevelopment for tax money),

Why City is taking the path that it is currently on.

South Ogden City General Plan Update

Table 3-8
Historical Retail Sales - South Ogden

HISTORICAL RETAIL SALES, SOUTH OGDEN						
City	Direct Sales 2002	Direct Sales 2003	Direct Sales 2004	Direct Sales 2005	Direct Sales 2006	AAGR
South Ogden	\$ 125,634,555	\$ 128,317,429	\$ 163,168,757	\$ 191,858,268	\$ 207,558,367	13%
Weber County	\$ 2,552,414,748	\$ 2,599,184,450	\$ 2,758,768,928	\$ 2,895,409,713	\$ 3,253,504,600	6%

About time period car dealership moved to South Ogden.

Retail Locations. There are two main commercial locations in South Ogden City - one located at the north end of the City, and the other at the south end. Analysis of these two locations, Figure 3-11 and Tables 3-9 and 3-10, shows considerably more population, and therefore more buying power, associated with the northern location. The northern location is surrounded by higher-density, more urban-type development, while the southern location is more suburban in nature. Commercial development in the northern portion of the City is old, with much of it in need of redevelopment. Therefore, a location in the northern part of the City could be an ideal site for pedestrian-oriented, walkable commercial development that can become a community center and for lifestyle-center type development.

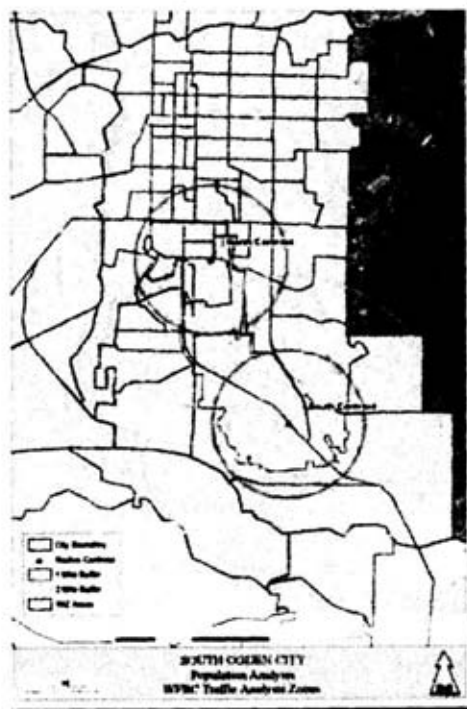
really???

This contradicts Goal #2 on previous sheet 3-11

"Redevelopment of areas which are economically depressed"

Everyone knows that there is

Figure 3-11.
Population Analysis



more buying power in the south part of the city. This looks like a classic bait & switch to me. So allow some 10% commercial expansion in South and wipe out 20% of the residents in the north (current plan) and almost 75% as originally shown on figure 2-3 (2008).

Appendix A: South Ogden Community Survey Summary

Demographics and Concerns

- o 73 percent of all respondents are 45 years of age and older; 12 percent are 35-44 years, 13 percent are 25-34 years and only 2 percent fall between 18-24 years of age. Clearly, the survey is heavily skewed to older individuals. Only 36 percent of the population is 45 years or older.
- o 99 percent of respondents own a home with only one percent reporting they rent. However, according to the 2000 Census, 77 percent of the population owned their home with the remaining 23 percent of the population renting. It is apparent that the majority of renters who received this survey, did not return it. This suggests that those who rent in South Ogden may lack a sense of investment in the City.
- o The top three concerns with City services include: (1) laws/ordinances enforced; (2) sidewalks and trails; and (3) traffic.

Public Safety

- o 95 percent of respondents feel safe in South Ogden, but 25 percent feel less safe than they did five years ago. 53 percent feel as safe as, and eight percent feel safer than they did five years ago.
- o The biggest concern expressed, with regards to the Police Department, is burglary and theft, followed by vandalism and property destruction.

Parks, Trails and Recreation

- o In terms of priorities for parks, trails and recreation, respondents gave first priority to the preservation of open space, followed by trails linking various parts of the community together, and additional parks.

Economic Development

- What the citizens would like more of:**
 - Restaurants (sit-down)
 - Entertainment (bowling, arcades, miniature golf, etc.)
 - Specialty food stores (bakeries, delicatessen, health, etc.)
- What the citizens want to keep the same:**
 - Grocery stores
 - Sporting goods
 - Electronics, computers
- What the citizens want less of:**
 - "Big box" general merchandise
 - Restaurants (fast food)
 - National chain stores

Citizens were not asked "Are you in favor of moving residents out of their homes so you can eat out" (By the way, the people you will be moving out may be barely able to put food on their tables) Actually restaurants would disappear because the poorer class tend to work here as do some teachers to help pay the bills.

McDonalds is pretty busy and was recently remodeled, Nice look for local community area.

Appendix A

South Ogden City General Plan Update

- o The most frequently requested goods and services in South Ogden include more sit-down restaurants, hardware stores, and a pool/recreation center. *(many items in survey were lumped together) Not a good survey.*
- o When asked what best described the "heart" of South Ogden City, one third of respondents (29 percent) reported City Hall area, with 21 percent choosing the Albertson's/Wal-Mart area and another 21 percent stating Washington Blvd. between 3600 South and 4000 South. It seems there is no clear area residents recognize as the town center of South Ogden City. Yet, the two areas it is apparent respondents do not consider the "heart" of the City are the Macey's/Costco area and the Riverdale Road area, each mentioned as the city center by less than ten percent of respondents. *And so why 40th Street?*

- o The survey showed that it is relatively important for there to be a town center in South Ogden - a mean score of 3.2 on a scale of 1 to 5, with 1 meaning not important and 5 meaning very important. *So why is a "Town Center" being pushed so hard by our city? What I would like*
- o 42.7 percent of respondents make their non-grocery purchases in Riverdale. That is almost 16 percent higher than the percentage of respondents who make non-grocery purchases within South Ogden City. Clearly, there is a significant amount of sales leakage taking place in the City. *is for city roads to be properly fixed and maintained. Proper road maintenance saves \$ in long run.*

Neighborhood Analysis

- o Generally speaking, residents in the southeast portion of the City wish there were more shopping opportunities in their neighborhood. However, residents in the central and northern parts of the City (mean score of 2.8 and 3.1 respectively on a scale of 1 to 5, with 1 meaning strongly disagree and 5 meaning strongly agree) do not feel as strongly about the need for more shopping opportunities. *Please fix our local roads prior to tearing out good asphalt on 40th Street.*

So put them in their neighborhood as they desire. Not the R-2 zone.

- o When asked if there is enough availability of affordable housing in their neighborhood, respondents in the north end of the City are the most likely to feel there is enough affordable housing (mean score of 3.6). Conversely, residents in the southeast portion of the City are the least likely to think there is enough affordable housing in their neighborhoods (mean score of 3.1). *Agree. We have had plenty of experience with. The Club at 366 could be heard from the inside of my home (5 blocks away)*
- o Residents in the northeast part of South Ogden have the least sense of community (mean score of 3.1) and those with the most sense of community reside in the central part of the city (mean score of 3.8). *3 is average. We have elderly & many rentals here.*
- o Respondents in the southwest portion of South Ogden consider their neighborhoods to be the most clean and welcoming (mean score of 4.2). Those respondents living in the northeast part of the city were the least likely to think of their neighborhood as clean and welcoming (mean score of 3.3).
- o People generally feel safe walking in their neighborhoods in the daytime. Those residents that are the least likely to feel safe, live in the northeast portion of the city

Appendix A Truthfully let people come to a public meeting^{A-2} and be heard on the matter. Don't redesign people out of their homes based on a survey.

South Ogden City General Plan Update

(mean score of 4.0). During the evening, residents in this same section of the city are also the least likely to feel safe (mean score of 3.0).

- o The survey results suggest that traffic speeds in residents' neighborhoods are generally safe, with all neighborhoods reporting a mean score of 3.3 to 3.6.

Planning and Development

- o When asked if there were any facilities, services, or amenities that South Ogden should offer, 36 percent of respondents suggested a pool/recreation center, with nine percent saying a library and eight percent requesting better provision of city services (law enforcement).
- o The most critical development issues (short-term and long-term) include parks and open space, sidewalks and trails and the desire for less development.
- o Regarding land use/planning, streets/sidewalks, economic development and parks, recreation, trails and cultural arts, respondents were asked to rank how South Ogden should prioritize its resources on a scale of 1 to 5, with 1 meaning significantly more and 5 meaning significantly less. Concerning land use and planning, respondents suggested that code enforcement of rundown properties was the most important (mean score of 1.87). Regarding streets and sidewalks, respondents suggested both condition of sidewalks and traffic congestion should be given highest priority (mean score of 2.39 and 2.40 respectively). *36th Street takes longer to make a left hand turn than 40th street which has a turn median. There really is not a significant delay with current traffic flows on 40th street.*
- o Concerning economic development and parks and recreation, respondents reported that highest priority should be given to restaurant development and land for open space, correspondingly.

Who is it that is complaining about run down properties to enforcement?
Probably not residents living on south end of the city.

Why were we not asked this?
Tearing down R-2 homes = 1.00

When did 40th Street get tacked on? Why were not all residents informed?

LAND USE AND PLANNING
(On a scale of 1 to 5, with 1 meaning significantly more and 5 meaning significantly less)

Code enforcement of rundown properties	1.87
Redevelopment of Washington Blvd. between 3600 S. and 4000 S.	2.11
Appearance of neighborhoods	2.31
Appearance of commercial areas	2.33
Limitation of multi-family development in existing residential areas	2.35
Community design guidelines	2.45
Appearance of City entrances	2.59

There are traffic lights people can navigate to, who don't want to wait for a break in traffic.

Read scripture about diminishing widow homes from the Savior. Matt 23:14.

Appendix A

Were citizens asked how much they would like redevelopment meaning their roads would not be maintained or their taxes would go up? Conditions are not at the same economy level now as they were prior to recession in 2008. Recession 2007-2011

2.9 Boulevard.

1. Intent.

The Boulevard is a high capacity street for higher speeds with a wider right-of-way, one way only in this case. It serves all types of development and provides crosstown connections. Refer to the typical plan and section, Figure 2.9 (1).

2. General Requirements.

Boulevards shall be developed using the guidelines in Table 2.9 (1).

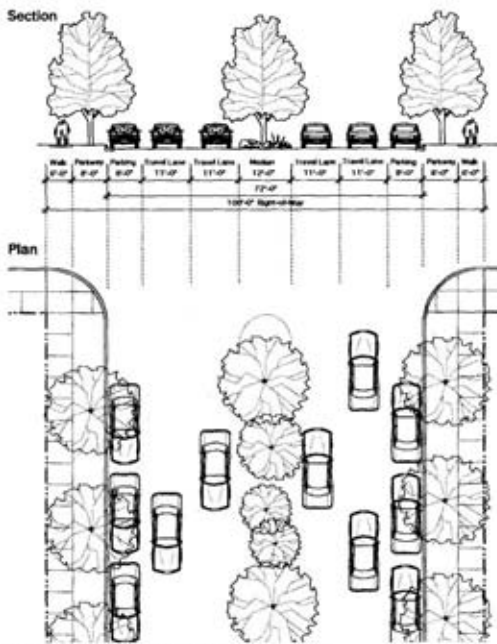


Figure 2.9 (1). Typical Boulevard.

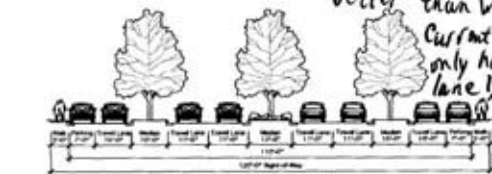


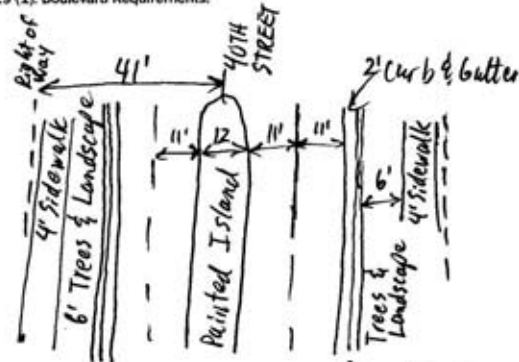
Figure 2.9 (2). Alternative 120' Right-of-Way with Local Lanes Boulevard.

Boulevard Requirements

Permitted Districts	Core A Core B Core C General A General B General C
Permitted Adjacent Building Types	Storefront General Stoop Civic Building
Typical Right-of-Way Width	100'; 120' alternative
Vehicular Realm	
Travel Lanes	up to 2 lanes each direction
Lane Width	11' or 12' with truck traffic
Allowable Turn Lanes	Permitted in place of parking and bulb out at intersections
Parking Lanes¹	Both sides, parallel only
Pavement Width	72'; 102'; 120' alternatives
Median	Permitted, minimum 9' wide, preferably 12' wide
Bicycle Facilities²	Designated Shared; Cycle Track alternative
Pedestrian Realm	
Pedestrian Facilities	Minimum 5' wide clear sidewalk on both sides with bulbouts
Buffer	Minimum 5' wide landscape zone or furnishings zone, both sides; adjacent to Residential Districts, Open Space Districts, the planting zone is required

¹ Reference 2.2.5 for on-street parking requirements
² Reference 2.2.6 for bicycle facility types and requirements

Table 2.9 (1). Boulevard Requirements.



Best Solution

Wait until need is closer based on Level of Service

No parking
Flows traffic better

(Add bike lane if additional maintenance is desired (rarely used).³³)

2.0 Street Types

I love trees in city areas, but without medians, current plan will make more congestion

Attachment A
40th Street Concept Boards

From WSU & ^{U of U} ~~WSU~~ students

Chosen Excerpts of Comments from

November 19, 2013 City Council Minutes Page 9

My comments regarding the student presentation given to S. Ogden City Council^{50.}
From November 19, 2013 City Council Minutes

40th Street Transit Feasibility Study

Shane Turnbow

Mike Mason

Max Backlund

Sam Stout

Kyle Beswick



Project Goals

Natural Environment

- GOAL: Ensure environmental safety of proposed development
- GOAL: Ensure environmental sustainability of proposed development

Built Environment

- GOAL: Promote redevelopment and development potential

Transportation

- GOAL: Alleviate automobile traffic in travel corridor and surrounding areas by encouraging reliance on public transit

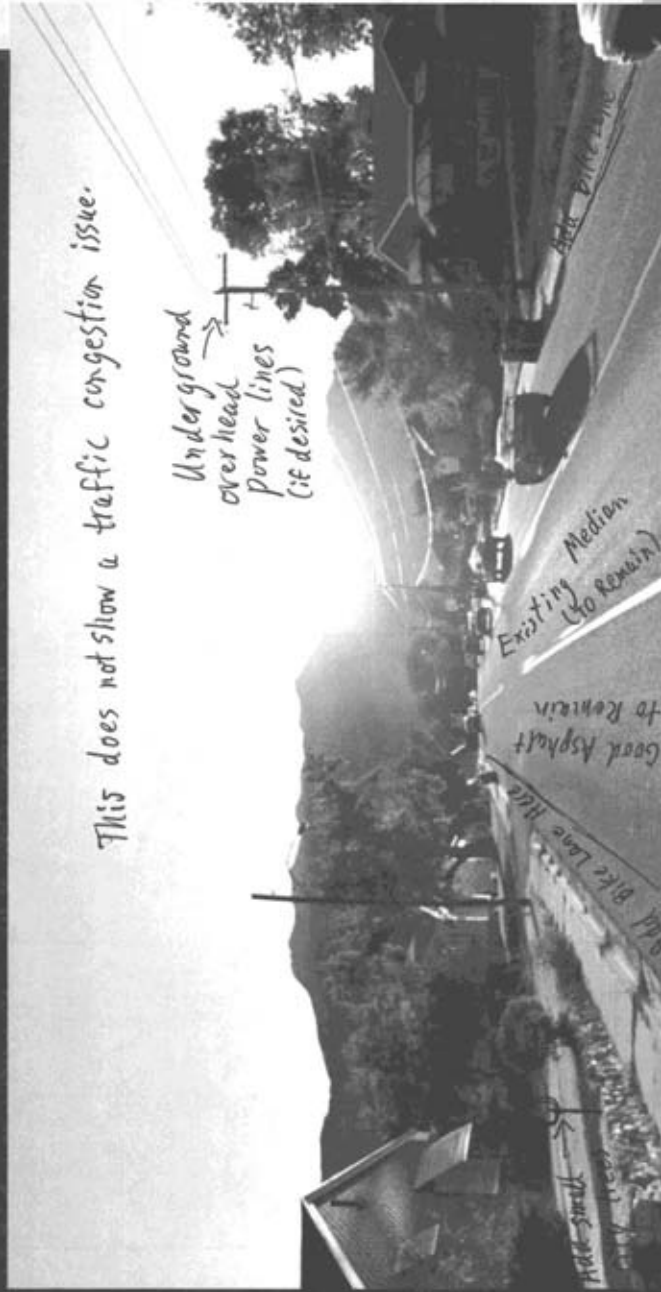
Socio-Economics

- GOAL: Conform to the demographic needs of the corridor residents, including future demographic projections

← people don't want so much in our cold climates
← what is planned does not fit in with demographics

- Park Open Space is being taken away. Should be required to restore Park SF destroyed.

Built Environment



Cost of Paint and trees would be cost savings to tax payers.

Transportation

- Two lane: 30%
- Three lane(2 EB, 1WB): 20%
- One-way split (2-lane no shoulder): 20%



2011 Traffic Count:	21,500 (Average Annual Daily Traffic)
2006 Traffic Count:	27,585 (Average Annual Daily Traffic)

2011 Traffic Count:	23,470 (Average Annual Daily Traffic)
2006 Traffic Count:	24,560 (Average Annual Daily Traffic)

This is showing less Traffic, not an increase for both streets in this study. Latest UDOT AADT Count 2013 for Lower 40th street section (west portion) shows ~16,000

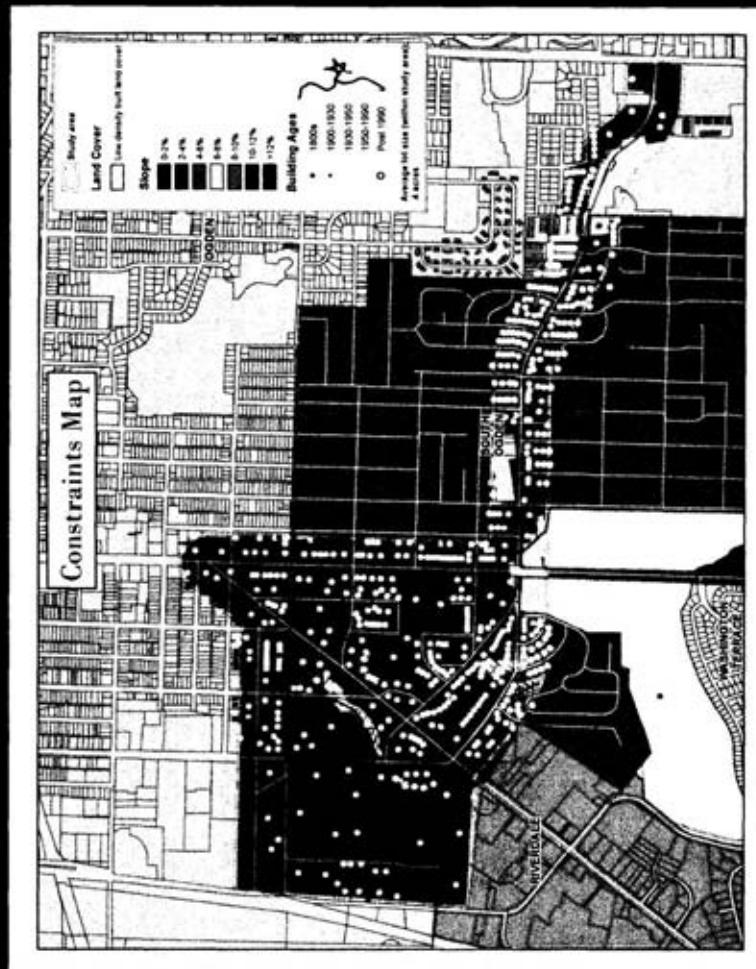
Natural Environment: Soil

- Soil Types (% of study area)
 - Loam, silt loam, loamy fine sand, gravelly fine sand
- Slope
 - Mostly 0-4% with a few regions between 6-8%
- Land Cover
 - Mostly developed open space – high intensity with a few low intensity regions
- Seismic
 - Liquefaction potential is moderate
- Other
 - Air quality and water quality are a concern for the region



40TH Street Storm Water
 will end up in our Park
 (Hopefully a tasteful water feature)
 75
 Upper portions of 40th Street
 (East of Park has steeper slopes)
 Does not meet ADA without grade adjustments.

Constraints Map



55,

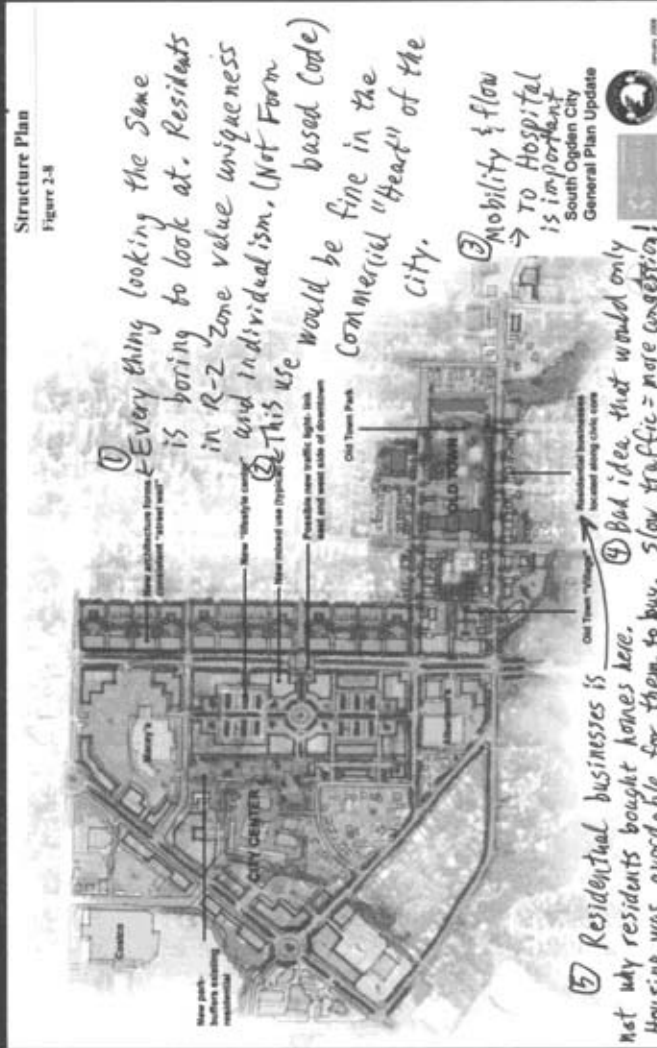
So much for South Ogden City's Historic Preservation, Do folks that live in area get to stay as long as they desire? Under what situations must they leave. Explain.

Future Data Projections

Weber County	2000	196,533	NA	Riverdale	2000	7,656	NA
	2013	233,871	19.00%		2013	8,475	10.70%
	2020	271,339	16.02%		2020	8,962	6%
	2040	363,671	34.03%		2040	9,047	0.95%
South Ogden	2000	14,337	NA	Washington Terrace	2000	8,551	NA
	2013	16,532	15.31%		2013	9,108	6.51%
	2020	16,893	2.18%		2020	10,784	18.40%
	2040	17,208	1.86%		2040	14,000	29.82%
Ogden	2000	77,226	NA	40th Street Corridor	2000	8,513	NA
	2013	83,363	7.95%		2013	8,827	3.69%
	2020	87,980	5.54%		2020	8,996	1.91%
	2040	106,186	20.69%		2040	9,479	5.37%

Source: Wasatch Front Regional Council, "Resources: Data." Retrieved http://www.wfrc.org/new_wfrc/index.php/resources/

Preferred Plan



57.

Students scrutinize options for 40th Street Corridor

FRIDAY, APRIL 24, 2015 - 1:16 PM

<http://www.standard.net/Government/2015/04/24/Students-scrutinize-options-for-40th-Street-Corridor>

SOUTH OGDEN — On Tuesday, a group of college students gave the South Ogden City Council a glimpse of what 40th Street could look like with a dedicated transit line and redeveloped commercial nodes featuring mixed-use options.

"Employment growth rates show that there will be a massive increase in the next 25 years in Weber County. Now is the time to really prepare for that," said Max Backlund, a masters student in city planning at the University of Utah.

Backlund is one of five students from Weber State University and the University of Utah who participated in a joint community planning workshop class. His team included Kyle Beswick, Mike Mason, Sam Stout and Shane Turnbow, and they were tasked with collecting and analyzing data about the 40th Street corridor.

The east-west route links Weber State University and McKay Dee Hospital to Riverdale Road and Newgate Mall. While it varies from two to four lanes along that stretch, the students found that its traffic count came close to vehicle numbers that travel the six-lane Washington Boulevard.

In 2011, the average daily traffic count along Washington was 23,470 compared to 21,800 on 40th Street.

However, the student findings revealed that the South Ogden corridor traverses a "transit-discretionary" area consisting of mostly white, middle-class residents, which translates into less dependency on mass transit. They concluded that offering more amenities would entice people to use transit in this area.

But the area also showed latent demand for walking and biking, activities that are currently limited by lack of shoulders and walkways along the corridor — and in areas where sidewalks exist, those narrow strips run directly alongside the road.

Much of the real estate that borders 40th Street consists of older single-family homes with long life spans, and shopping centers erected in the 1980s that are due for redevelopment.

According to their analysis, the corridor connects to seven commercial acres that, if rezoned for mixed used and higher-density residential housing, could transform into transit-oriented developments.

Key transit stops — for either a rapid transit bus or streetcar — include McKay Dee Hospital, Madison Avenue, Adams Avenue and Washington Boulevard.

In addition to pulling from several data sources, the students also relied on South Ogden's 2008 general plan which indicated high-density mixed use surrounding the new city hall at 40th Street and Adams Avenue.

Section of 40th Street for redevelopment in South Ogden shows 2013 latest UDOT from AADT over 16,000.

← This count is not for S. Ogden (East side),

← These students are not South Ogden City Residents and students, Not traffic Engineers.

because as they were asking the questions about 10-1-14, that question came to my mind regarding zoning ordinances, map amendments, conditional use permits and things like that. So, that was why I asked that question. And then the other question I had is, is I guess they already posed it, so, what does, what did they mean, or what does it mean when it says this title? Is that, if it says this title, is that, how big is that? Ken Bradshaw: Depending on the language in the entire body of the code, it can refer to an individual title, depending on how it's defined, or it may apply to more than one of the titles in your code. So it depends on how it's written. Council Member Strate: Is it possible that it could be defined, that this title could be defined? Ken Bradshaw: Well, yah, it gets defined all the time. Council Member Strate: Okay. Very good. So, I guess the question is, because they, there's this ten day thing that was mentioned, Sallee mentioned it, and I guess that last sentence on 10-1-4, I'm not sure, do we have any background on that? Uh, the city council may overrule the planning commission's recommendation by a majority vote of its members and it cites city council meeting of 12/5/2000, Ordinance 00-24. Does that ordinance define what that sentence means? Would we have to look? Ken Bradshaw: I'm not..., yeah, I'd have to go look. I'm not sure. Council Member Strate: Okay, yes, we'd have to look. I'm sorry for taking that time. I will defer now. Thank you.

- C. **City Manager** – Reported a new human resource specialist had been hired. He then reminded the council of the upcoming Utah League of Cities and Towns Conference September 10th -12th. Mr. Dixon then informed the council a group of entities from Weber County had been meeting with the goal of preparing an RFP for a county wide recreation master plan. The idea was to work closely together and share recreational facilities. Those involved hoped that RAMP funds could be used for the master plan. He also reported he and the mayor had met with PEC concerning the design of the Harrison Boulevard/Highway 89 interchange. Mr. Dixon concluded his reports by saying the 40th Street project had been slowed down due to the possible involvement of UTA by making 40th Street a major transit corridor. They wanted to make sure the project was done correctly. ← Note

- D. **City Attorney Ken Bradshaw** – nothing to report.

City Recorder Leesa Kapetanov then reminded everyone the next council meeting was scheduled to be held at Madison Park.

VIII. **ADJOURN**

Mayor Minster then indicated it was time to adjourn the meeting and called for a motion to do so.

Council Member Smith moved to adjourn, followed by a second from Council Member Porter. The vote to adjourn was unanimous.

The meeting ended at 7:31 pm.

Title: City Counselors and Planning Commission "Form Based Code" Intro, 60.
This appears to have been a sink or swim session on "Form Based Code". Many intentionally misleading photos are shown here.

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Form Based Zoning


Which do you Prefer?

1970s Built Phoenix or California →

Lifeless Public Realm

Newer Homes →

Comfortable Public Realm in a less arid climate



South Ogden, Utah - November 25, 2014

Form Based Zoning

How would streets be cleared with snow removal? This layout is not functional in our climate. May work in California where there is no snow. Would be a snow plow night mare.

Purpose? Photos are not equally shown.

- These photos ~~is~~ ^{are} very poor, and I feel deceptive.
- Direction of
1. Views are not the same. First faces homes, the second does not it faces the wide open space.
 2. Colors are different. First photo has dull green spaces and more brown colors. Second photo shows more green color.
 3. View/Zoom. First photo is zoomed in more (homes are larger). Second photo is zoomed out (shows 9 homes) and more skyline.

This is deceptive advertising at its best. Who is trying to deceive who?

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Form Based Zoning

Euclidean = Separation

It's a Matter of Priorities

South Ogden, Utah - November 23, 2014

Form Based Zoning

Form-Based Codes are all about Creating Communities

- With an emphasis on form rather than use
- Uses may be integrated to create a true community

South Ogden, Utah - November 25, 2014

Unique is preferred "The American Way"

← Far away view

← Close up View Everything Same = boring "Communism" = No Voice or governed by Dictator = Form

BASED CODE - Fits in HOA not R-2 ZONE

I value use more than form. What will be allowed uses? Residents nearby commercial developments wherever the line is drawn, now or in the future will be the next victims with parking. I do not want any new development in residential areas if controlled substances such as alcohol is to be allowed. Sure cities can make a lot of tax revenue from alcohol sales, but who is hurt by this?

The alcoholic, their families, and the community in large.

Deceptive Photos Again!

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Form Based Zoning

Form-Based Codes

- A relatively new name...
- For emerging regulatory techniques...
- Serves to implement the rebirth and interest in Urbanism...

Conventional Codes

- Zoning and subdivision regulations
- Designed to separate incompatible uses
- Ideal for suburban development patterns

← Looks like a good way in the winter to generate fines for on street parking. Residents would be forced to either pay fines or not have a car in the winter.

← Driveway provide parking off streets for snow removal, Driveways and off street parking is best where possible.

IBI | The density of housing is similar for these two photos. (OR could be) First photo, which the writers have set you up to prefer shows lots of open space, nice sky lines and mountains in the background. ~9 Homes shown. Second photo shows no skyline, less green and ~76 homes.

Form Based Zoning

The Rise of Conventional Zoning

Clarence Perry: "Neighborhood and Community Planning" 1929

South Ogden, Utah - November 25, 2014

Deceptive Photos (Somewhat)

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Form Based Zoning

Mixed-Use vs Segregated Uses

A variety of standards
 Thoroughfare Lighting Setbacks
cookie cutter units lack appeal & ugly.



IBI

↑ What does back side look like w/ trash enclosures?

One-Size-Fits-All
 Thoroughfare Lighting Setbacks

← Put the powerline underground



and this photo with all the trash dumpsters stored could be the back side of the first photo.

South Ogden, Utah - November 25, 2014

↑ This looks like industrial or manufacturing area with seven dumpsters shown. How about implementing an ordinance that dumpster must be contained in a trash enclosure. Cheap Fix = Tax payers saving money.

Form Based Zoning

Pedestrian Priority vs Parking Priority



IBI



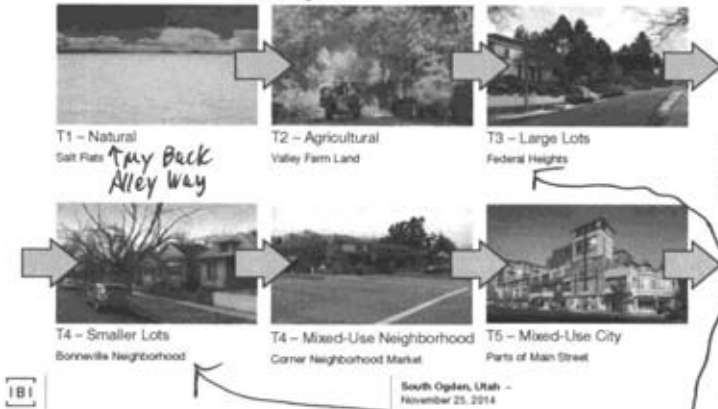
South Ogden, Utah - November 25, 2014

↑ Where will folks park? Hills are not ADA friendly for on street parking.

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Form Based Zoning

Transect Based



I have a lot over 1/2 Acre in R-2 Which Zone will we inherit?
2/3 of my property is used for Agriculture

Not clear on how this is defined.

Form Based Zoning

Transect Based



T6 - Downtown Salt Lake City City Center

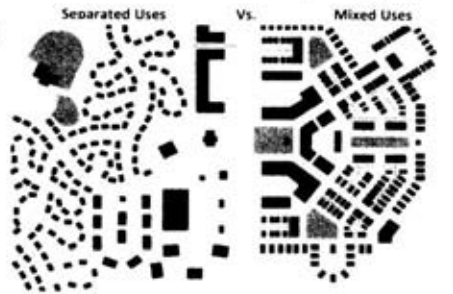
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well worth the extra effort upfront. Overall the benefits of Form-Based Codes can result in more concise codes that support vibrant communities and their desired development design.

FORM-BASED CODE

Mixed Use vs. Segregated Use

Since traditional zoning is more focused on land uses rather than place forms, segregation of land uses become a standard part of a community. Walkable and pedestrian friendly neighborhoods have a hard time fitting into these separated and segregated uses of land. When Form-Based Code zoning is used, the community creates places that are primarily focused on the form of new growth and redevelopment of these communities. With this in mind, Form-Based Codes encourage mixed uses and therefore better street connectivity.



Source: iB Group

One of the other challenges that traditional Euclidean zoning unintentionally creates is a lack of street connectivity and over emphasis that moves cars and not people. With separated uses, the automobile virtually becomes the primary mode of transportation for residents, as often separated uses can be farther apart and not easily accessible by other modes of transportation. Alternatively, when we use Form-Based Codes that enhance a range of mixed uses in close proximity, other transportation modes, such as biking and walking, become much more of an option because of the higher number of connections between each use.

As long as a person never wants to leave 40th Street, Washington Boulevard or Riverdale Road, this could work. Prior to approving any form based zoning change, people voting on whether to approve should be required to use public transportation and then return and report what kind of experience it was for them. Try it in the middle of a snow storm.

Then try to visit a family member in another city or state. Public Transportation has been a joke. Most buses I see usually has 3-4 people on them- what a van could easily handle & pollute less.

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Wasatch Choice 2040: Elements of the Form-Based Code Manual and Template

The Wasatch Choice for 2040 is a 30 year vision for growth that maintains a high quality of life for current and future generations along the Wasatch Front. Based on current and previous growth rates, it is anticipated that our population will almost double by 2040, and thus how we deal with this growth and still maintain the lifestyles that we love about living in Utah is one of the challenges this growth presents. The Wasatch Choice for 2040 is a regional vision based on accommodating this growth by looking to funnel the majority of it into centers and corridors. The vision also looks to provide transportation and housing options to all diverse communities now and in the future. With this vision in mind, the Wasatch Front Regional Council alongside Envision Utah, the University of Utah, Utah Transit Authority (UTA), Utah Department of Transportation (UDOT) as well as other key planning organizations and regional leaders, look to identify key planning tools that would help support implementation of the regional vision.

The Wasatch Choice 2040 toolbox created six tools under this collective partnership to help maintain and better our livability standards for those next 30 years and beyond.



The Form-Based Code Manual and Template is one of those tools to help support the implementation of the vision. This manual and template is set up to support communities who want to explore a Form-Based Code. It looks to include the specific vision and goals of the neighborhood as its underlying basis for calibrating the design and place it attempt to cultivate. This manual walks a community through a step-by-step process, and it helps with some of the initial burden by providing baseline illustrations and graphics. Additionally the manual provides a step-by-step guide on calibration and how a community's specific vision and the goals of its neighborhoods can be achieved through this type of ordinance.

This style does not fit in the R-2 Zoned community.

An earlier 2008 produced City document Showed S. Ogden City Population growth at 17% with average household size of 3. This doesn't seem to indicate we have a need for new infrastructure for more growth.

Traffic Study done by University students showed substantially less traffic from 2006 to 2011 which decreased 22%. No one can predict the future. Baby boomers will eventually be gone, and more folks choose less children.

Title: Possible Areas for future Commercial Development in the South?

Development in ~~Northern~~ Southern Areas 67.

Was not included with "Form Based Zoning" document. Why not?



Do citizens in south part of South Ogden not want commercial development near them any more?

SOUTH OGDEN CITY ANNEXATION POLICY PLAN (2008) PROPOSED AMENDMENT 2015 AREAS 1, 3 and 7

Seem to be a lack of city trust if this is the case.

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Page 1

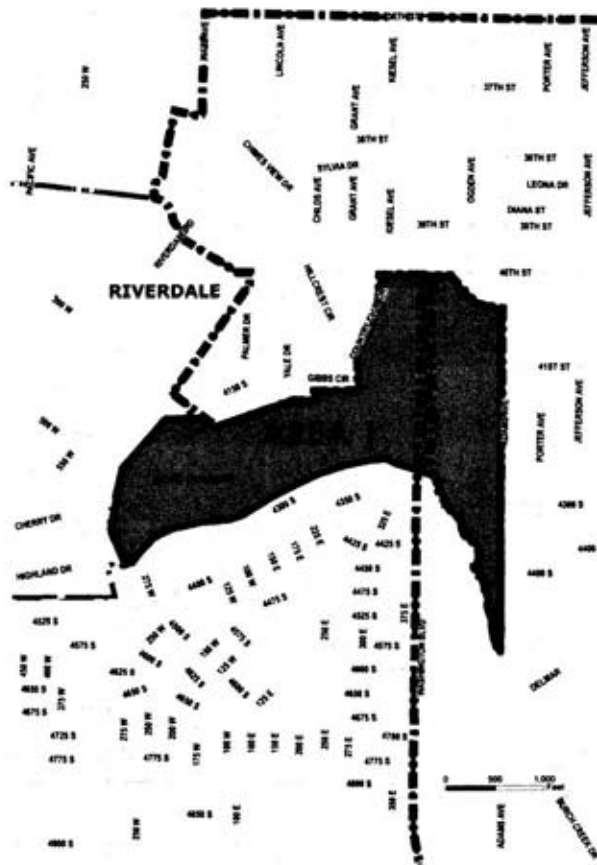
No Homes affected here. Why ^{68.}
not put commercial use here?
No residents would loose their homes.

AREA 1

CHARACTER OF THE COMMUNITY

This is a 126 acre site that currently encompasses the Ogden Golf and Country Club. The surrounding area is fully developed in South Ogden City as well as Washington Terrace and Riverdale City. Most of the surrounding area is made up of long established residential neighborhoods, with limited commercial uses located north of 40th Street in South Ogden, which is an arterial street. Access to the Ogden Golf and Country Club is from U.S. 89, a main arterial street that divides the golf course into two separate parcels. A tunnel is located under the street, providing a direct pedestrian link between the two parcels, and continuous pedestrian circulation throughout the course.

Map 2
Area 1



Looks Fine Assuming no houses lost.



NEED FOR MUNICIPAL SERVICES

Area 3 has been planned for development expansion for several years. The utilities necessary to facilitate this development are available through South Ogden City and the Uintah Highlands Improvement District. As development is approved, costs to connect to or expand the utilities will be paid by the developers, with the costs to maintain public improvements will be offset by the anticipated increase in tax revenues.

ESTIMATE OF TAX CONSEQUENCES

The small size of this annexation area, coupled by the fact that infrastructure is readily available supports the notion that costs can be easily absorbed by the increase in tax revenue generated by new development. Service costs will either remain the same or be reduced assuming South Ogden City provides the services.

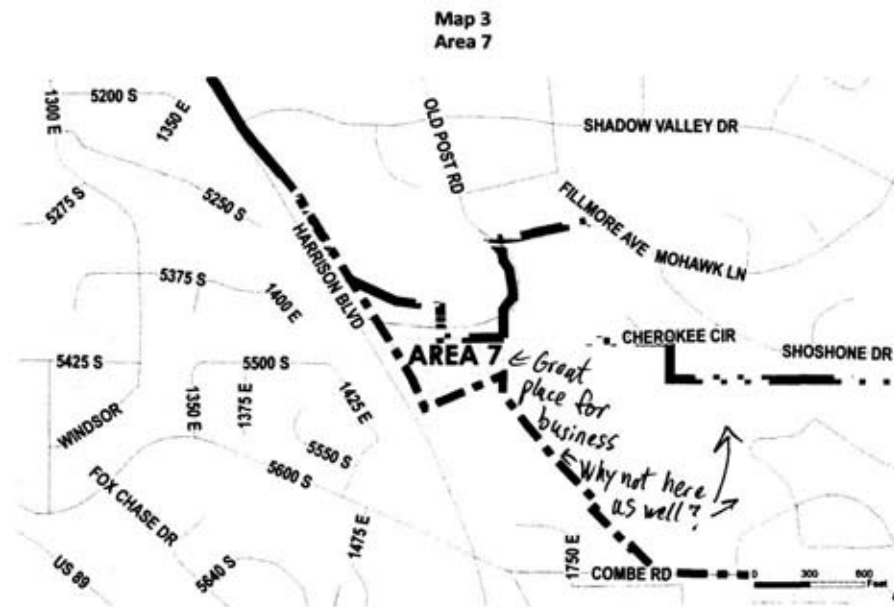
THE AFFECTED ENTITIES

- Weber County
- Uintah City
- Ogden City
- Weber School District
- Uintah Highlands Water and Sewer Improvement District
- Central Weber Sewer Improvement District
- Weber Mosquito Abatement District
- Weber Area 911 Dispatch
- Weber Basin Water Conservancy District
- Weber Fire District
- Weber County Library
- Weber/Morgan Health Department

AREA 7

CHARACTER OF THE COMMUNITY

This area consists of a small parcel approximately three acres in extent. The surrounding South Ogden community has been developed since the 1970's, and is primarily commercial in character. The surrounding area also includes a few older homes in addition to some newer homes that have been developed in recent years. Harrison Boulevard provides access to the site. The roadway is an arterial street that serves much of the community. The site is located on the toe of a steep slope occupied by two large water storage tanks and other buildings. The proposed annexation area is located at the eastern edge of the city, and will create a small island of unincorporated county north of the site. The site is currently contained in the annexation policy plan for Ogden, although informal discussions with city staff indicate Ogden City would relinquish that status with the understanding that no services for the property would be provided on their part. The unincorporated areas south and east of the site are dominated by open hillsides and scattered residential homes.



NEED FOR MUNICIPAL SERVICES

According to an assessment by the South Ogden City Engineer, Area 7 would receive culinary water from the adjacent storage tanks. Water pressure will be an issue for much of the property near Harrison Boulevard, with pressures tending to be in the more acceptable range of 40 to 50 psi. However, on the higher portions of the parcel, pressures will be relatively low (approximately 10 psi).

The location of the proposed culinary water connection will also be a potential problem. The culinary water connections for properties surrounding the subject parcel are all located near the intersection of